MINUTES - PLAN COMMISSION

DATE:	January 15, 2026
TIME:	6:00 P.M.
LOCATION:	City Council Chambers, Kiel City Hall 621 Sixth St., Kiel, Wis.
MEMBERS:	Mayor Bob Hennings, Alderperson Bill Krueger, Pete Tarnowski, Jim Fromm, John Moritz, Eric Voland, Gina Ziegelbauer

1) Mayor Bob Hennings called the meeting to order at 6:00 p.m.
2) Pledge of Allegiance
3) Roll Call – Members Tarnowski, Ziegelbauer, Krueger, and Fromm were in attendance. Members Moritz and Voland were excused. Citizen Eddie Arnold was also in attendance.
4) Public Comment -- Eddie Arnold (458B Jasper Ct) spoke about his request for amending the accessory structure ordinance to allow properties, like his, to have larger accessory structures on their lots.
5) Tarnowski moved, seconded by Fromm, to approve the minutes of the December 4, 2025, Plan Commission Meeting. Motion passed unanimously.
6) Ziegelbauer moved, seconded by Fromm, to amend ordinance 17.32(2) Accessory Structures related to size permitted for duplex/multi-family properties and recommendation to the City Council. Voting Aye were Tarnowski, Ziegelbauer, and Fromm. Voting Nay was Krueger. Motion carried 3-1.
7) Tarnowski moved, Ziegelbauer seconded to amend Chapter 17 of the Kiel Municipal Code by creating Section 17.44, "Administration". Voting Aye were Tarnowski, Ziegelbauer, Krueger, and Fromm. Motion passed 4-0.
8) No date was set for a public hearing.

Any person wishing to attend the meeting who requires special accommodation because of a disability should contact Jamie J. Aulik, City Administrator, (920) 894-2909 Ext. 102 at least 24 hours before the meeting begins so that appropriate accommodations can be made.

9) Fromm moved, seconded by Tarnowski to adjourn at 6:27 p.m.

Bob Hennings, Mayor
Prepared by Ryan Pafford, City Administrator

Any person wishing to attend the meeting who requires special accommodation because of a disability should contact Jamie J. Aulik, City Administrator, (920) 894-2909 Ext. 102 at least 24 hours before the meeting begins so that appropriate accommodations can be made.

TRINITY EVANGELICAL LUTHERAN CHURCH
PROJECT NARRATIVE

Project Description

Trinity Evangelical Lutheran Church is proposing a building addition and associated site improvements at its existing campus located at 387 Cemetery Road in the City of Kiel, Manitowoc County, Wisconsin.

The project is intended to accommodate expanded ministry and educational needs while improving site circulation, parking capacity, and stormwater management. The proposed improvements are designed to integrate with the existing church facilities and surrounding land uses, while meeting applicable City of Kiel, Manitowoc County, and Wisconsin Department of Natural Resources requirements.

Existing Site Conditions

The property is currently developed with an existing church, school, gymnasium, associated parking areas, driveways, sidewalks, and landscaped areas. Access to the site is provided from Cemetery Road. The site contains existing stormwater conveyance features, including roadside ditches, culvert pipes, and catch basins that ultimately discharge to downstream drainage systems. The surrounding land uses consist primarily of agricultural and industrial.

Proposed Development

The project includes the following primary components:

Building Addition:
A new 8,500± SF addition connected to the existing church facility to support expanded cafeteria, conference, office, and support spaces. The addition is architecturally compatible with the existing structure, using similar materials and finishes.

Storage Shed:
A new 1,250± SF storage shed proposed next to the gymnasium for additional storage space.

Bleachers:
Bleachers to be replaced within the gymnasium.

Parking and Circulation Improvements:
The site plan proposes reconfiguration and expansion of paved parking areas to better serve the increased use of the facility.

Existing parking stalls: 146
Additional parking stalls: 94
Total parking stalls upon completion: 240

Pavement improvements include new asphalt paving, pavement milling and overlay of the existing parking lot, expanded asphalt parking lot, updated striping, and designated accessible parking stalls. Internal vehicle circulation has been improved to enhance safety and efficiency.

Driveway and Access Modifications:
An existing driveway and culvert along Cemetery Road will be removed and replaced to the south with a new relocated driveway and culvert designed to improve traffic flow and drainage.

Land Area Adjustment:
The project includes the acquisition of additional land to accommodate the site expansion, with approximately 0.96 acres included in the land purchase area.

Stormwater Management:
Stormwater management improvements are a key component of the project. The site will see an increase of approximately 0.56 acres of impervious surface. Drainage improvements include:

New and modified culvert pipes, apron endwalls, and storm sewer piping.
Re-grading of ditch lines and on-site drainage features to maintain positive drainage.
Stormwater conveyance designed to safely pass runoff without adverse impacts to adjacent properties.

Stormwater facilities are designed in accordance with Wisconsin DNR requirements and applicable local regulations, ensuring post-development runoff conditions are appropriately managed.

Erosion Control:
Temporary and permanent erosion control measures will be implemented during and after construction, including:

Silt fencing and inlet protection.
Construction tracking pads to prevent sediment from being tracked onto public roadways.
Temporary and permanent seeding, mulching, and erosion control blankets where required.
Regular inspections and maintenance of erosion control measures until final stabilization is achieved.

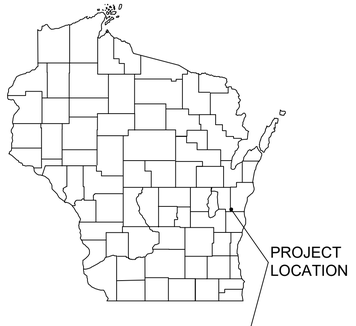
All erosion control practices will comply with Wisconsin Administrative Code NR 216 and WDNR Conservation Practice Standards.

Utilities:
The project will continue to be served by existing public utilities, including water, sanitary sewer, electric, gas, and telecommunications. Any utility adjustments required for the building addition or site improvements will be coordinated with the appropriate utility providers.

Compatibility and Community Impact:
The proposed improvements are consistent with the existing use of the property and are designed to minimize impacts on neighboring properties. The expanded parking and improved circulation will reduce on-street parking and improve site safety during peak church and school use. Exterior materials for the building addition are designed to match or complement the existing structure, ensuring a cohesive appearance.
Construction activities will be temporary in nature, and appropriate measures will be taken to manage dust, noise, and site access during construction.

TRINITY EVANGELICAL LUTHERAN CHURCH

CITY OF KIEL,
MANITOWOC COUNTY, WI



LOCATION MAP
NOT TO SCALE

SHEET INDEX

G - GENERAL SHEETS

G 1	TITLE SHEET
G 2	OVERALL LAYOUT SHEET
G 3 - 7	DETAILS

ST - SITE SHEETS

ST 1	EXISTING SITE CONDITIONS
ST 2	EROSION CONTROL AND REMOVAL PLANS
ST 3	PROPOSED SITE PLAN
ST 4	GRADING PLAN

LEGEND

- EXISTING WATER MAIN
- EXISTING WATER MAIN, VALVE & HYDRANT
- EXISTING WATER SERVICE & CURB STOP
- PROPOSED WATER MAIN, VALVE, & HYDRANT
- PROPOSED WATER SERVICE & CURB STOP
- EXISTING SANITARY SEWER & MANHOLE
- PROPOSED SANITARY SEWER & MANHOLE
- EXISTING FORCEMAIN
- EXISTING STORM SEWER & INLET
- PROPOSED STORM SEWER & INLET
- PROPOSED STORM SEWER & MANHOLE
- BURIED ELECTRIC
- BURIED GAS & VALVE
- BURIED CABLE TELEVISION
- BURIED TELEPHONE
- BURIED FIBER OPTICS
- OVERHEAD UTILITY
- RAILROAD TRACKS
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING CULVERT PIPE
- PROPOSED CULVERT PIPE
- FENCE LINE
- DRAINAGE ARROW
- SILT FENCE
- RIGHT-OF-WAY
- BASELINE
- PROPERTY LINE
- TREE LINE
- BENCHMARK
- IRON PIPE
- IRON ROD
- CONTROL POINT
- UTILITY POLE & GUY
- SOIL BORING
- LIGHT POLE
- PEDESTAL
- STREET SIGN
- MAILBOX
- FLAGPOLE
- TREE - DECIDUOUS
- TREE - CONIFEROUS
- TREE TO BE REMOVED

UTILITIES

GAS:

WISCONSIN PUBLIC SERVICE CORP.
GREEN BAY, WI
EMERGENCY: (800) 450-7280
NON EMERGENCY: (800) 450-7260

ELECTRIC:

KIEL ELECTRIC UTILITY
621 SIXTH STREET
KIEL, WI 53042
PHONE: (920) 894-2909

GREAT LAKES UTILITIES
1323 SOUTH 7TH STREET
MANITOWOC, WI 54220
PHONE: (920) 686-4396

TELEPHONE/CATV:

SPECTRUM
(833) 267-6094

SEWER & WATER:

CITY OF KIEL WATER AND WASTEWATER UTILITY
621 SIXTH STREET
KIEL, WI 53042
PHONE: (920) 894-2909

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

NOTE:
UTILITY LOCATIONS SHOWN ON PLANS ARE APPROXIMATE AND CONTRACTOR SHALL HAVE APPROPRIATE UTILITY MARK EXACT LOCATIONS PRIOR TO CONSTRUCTION.

NO.	DATE	REVISION	BY
.	.	.	.
.	.	.	.
.	.	.	.

PROJECT DATE: .
DRAWN BY: EAE
DESIGNED BY: AJL
CHECKED BY: DWR

PLOT DATE: 1/22/2026 2:19 PM, G:\22\22701\22701002\CADD\Construction Documents\22701002 General Sheets.dwg

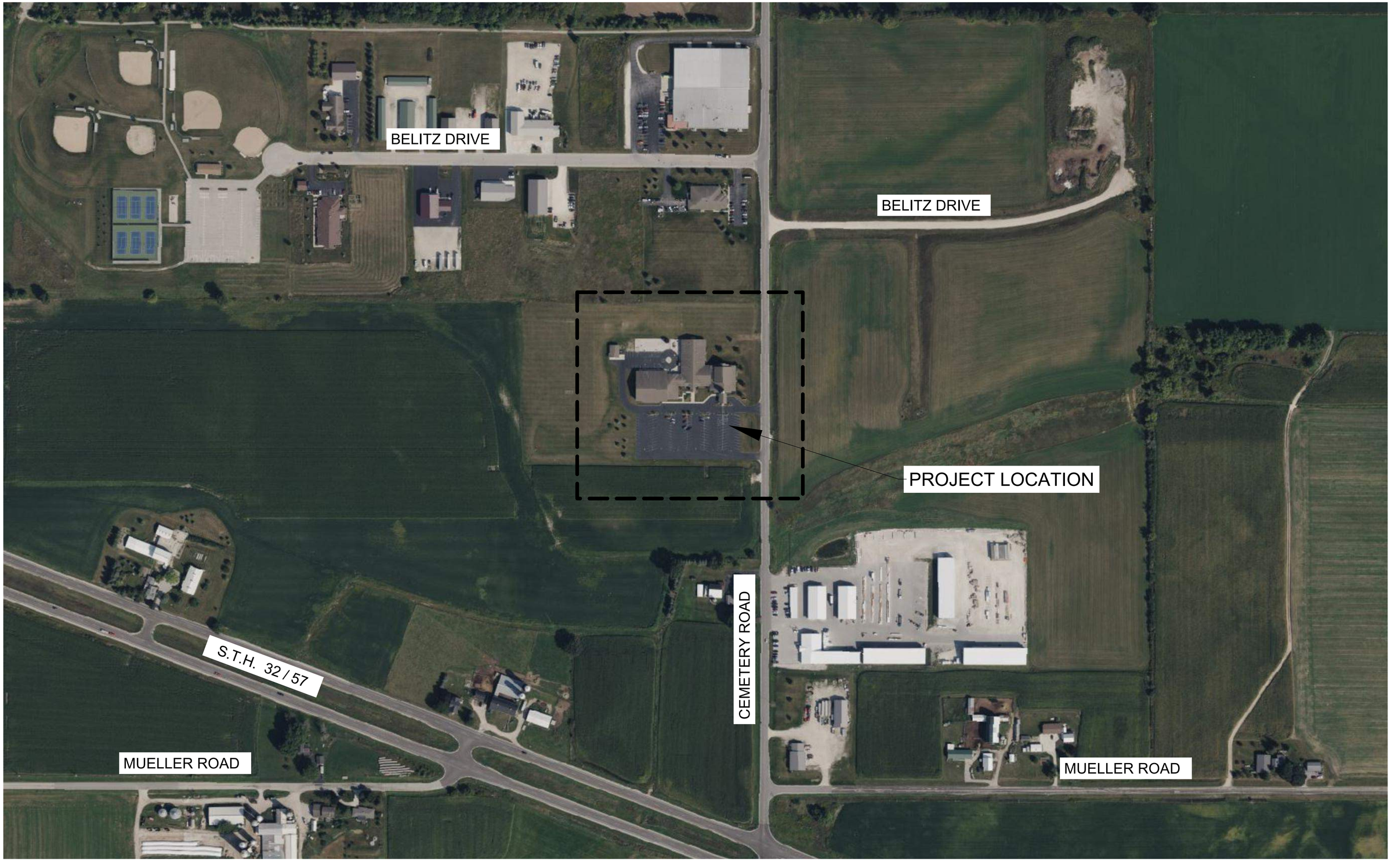
MSA
ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
2901 E Enterprise Ave, Suite 500, Appleton WI 54913
(920) 545-2083 www.msa-ps.com

TRINITY EVANGELICAL LUTHERAN CHURCH
CITY OF KIEL
MANITOWOC COUNTY, WISCONSIN

TITLE SHEET

PROJECT NO.
22701002

SHEET
G 1



		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: EAE	.	.	.	.
	DESIGNED BY: AJL	.	.	.	.
	CHECKED BY: DWR	.	.	.	.

PLOT DATE: 1/22/2026 2:19 PM, G:\22\22701\22701002\CADD\Construction Documents\22701002 General Sheets.dwg

MSA
ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
2901 E Enterprise Ave, Suite 500, Appleton WI 54913
(920) 545-2083 www.msa-ps.com

TRINITY EVANGELICAL LUTHERAN CHURCH
CITY OF KIEL
MANITOWOC COUNTY, WISCONSIN

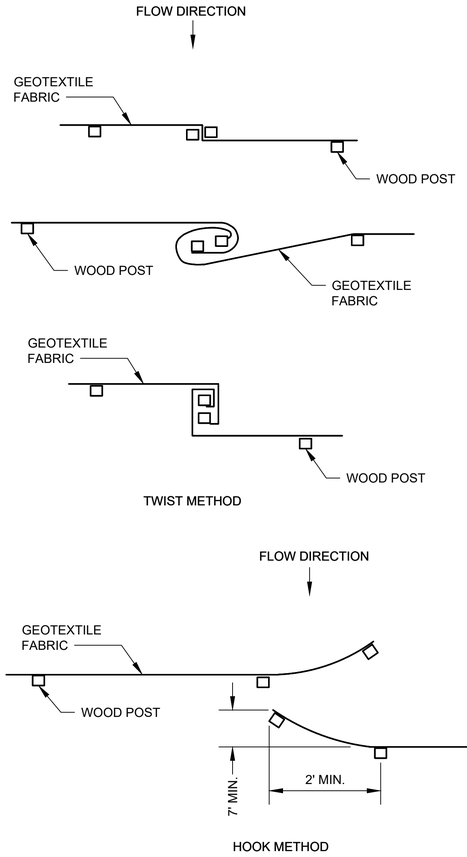
OVERALL LAYOUT SHEET

PROJECT NO. 22701002

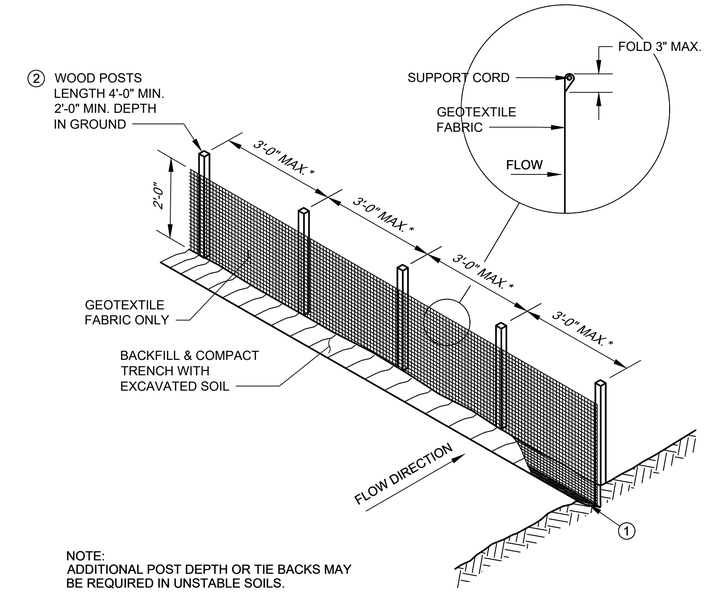
SHEET G 2

CONSTRUCTION SITE
EROSION CONTROL REQUIREMENTS

1. SECTION NR216.46 OF WISCONSIN STATE ADMINISTRATIVE CODE IDENTIFIES REQUIREMENTS FOR CONSTRUCTION SITE AND POST-CONSTRUCTION EROSION CONTROL. IT IS THE INTENT OF THESE PLANS TO SATISFY THESE REQUIREMENTS. THE METHODS AND STRUCTURES USED TO CONTROL EROSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL IMPLEMENT AN APPROPRIATE MEANS OF CONTROLLING EROSION DURING SITE OPERATION AND UNTIL THE VEGETATION IS RE-ESTABLISHED. ADJUSTMENTS TO THE CONTROL SYSTEM SHALL BE MADE AS REQUIRED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE WISCONSIN DNR'S CONSERVATION PRACTICE STANDARDS. THESE STANDARDS ARE PERIODICALLY UPDATED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND REFERENCE THE MOST RECENTLY RELEASED STANDARD.
3. THIS INFORMATION IS ONLY ONE PART OF THE OVERALL EROSION CONTROL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY ALSO BE SHOWN ON THE CONTRACT DRAWINGS AND IN THE ACCOMPANYING SPECIFICATIONS.
4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE OWNER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
5. THE AREA OF EROSIVE LAND EXPOSED TO THE ELEMENTS BY GRUBBING, EXCAVATION, TRENCHING, BORROW AND FILL OPERATIONS AT ANY ONE TIME SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING. ALL DISTURBED AREAS SHALL BE TREATED WITH PERMANENT STABILIZATION MEASURES WITHIN 3 WORKING DAYS OF FINAL GRADING.
6. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN HAS OCCURRED. ALL NECESSARY REPAIR AND MAINTENANCE WILL BE DONE AT THIS INSPECTION TIME.
7. ALL EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE PROPERLY INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS WITHIN THEIR RESPECTIVE DRAINAGE AREAS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
8. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY INSTALLED PRIOR TO ANY SOIL DISTURBANCE.
9. ANY SLOPES STEEPER THAN 3H:1V SHALL BE STAKED WITH EROSION CONTROL FABRIC UNLESS INDICATED ON THE PLAN.
10. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
11. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH, OR A TACKING AGENT MAY BE REQUIRED TO PROTECT NEARBY RESIDENCES AND WATER RESOURCES.
12. CHANNELIZED RUNOFF ENTERING THE PROJECT SITE FROM ADJOINING LANDS SHALL BE DIVERTED THROUGH NATURALLY OR ARTIFICIALLY EROSION-RESISTANT CONVEYANCES. IF CHANNELIZED RUNOFF CANNOT BE DIVERTED, SITE BEST MANAGEMENT PRACTICES MUST ACCOUNT FOR THE ADDITIONAL FLOW RATES AND EROSION POTENTIAL THAT SUCH RUNOFF PRESENTS.
13. THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS TO PREVENT SOILS FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEPT AND/OR SCRAPED (NOT FLUSHED) PERIODICALLY TO REMOVE SOIL, DIRT, AND/OR DUST.
14. EROSION CONTROLS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF TEMPORARY STOCKPILES. ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING. ALL STOCK PILES SHALL BE PLACED AT LEAST 75 FEET FROM STREAMS OR WETLANDS.
15. ADDITIONAL EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) SHALL INCLUDE THE FOLLOWING:
    a. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
    b. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
    c. DISCHARGE OF TRENCH WATER OR DEWATERING EFFLUENT MUST BE PROPERLY TREATED TO REMOVE SEDIMENT IN ACCORDANCE WITH THE WDNR CONSERVATION PRACTICE STANDARD 1061 - DEWATERING OR A SUBSEQUENT WDNR DEWATERING STANDARD PRIOR TO DISCHARGE INTO A STORM SEWER, DITCH, DRAINAGEWAY, OR WETLAND OR LAKE.
16. ALL DRAINAGE CULVERTS, STORM DRAIN INLETS, MANHOLES, OR ANY OTHER EXISTING STRUCTURES THAT COULD BE DAMAGED BY SEDIMENTATION SHALL BE PROTECTED ACCORDING TO THE VARIOUS METHODS PROVIDED IN THE PRINTED CONSERVATION PRACTICE STANDARDS.
17. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
18. THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION, ALL NEWLY SEEDED AND MULCHED AREAS SHALL WATERED WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
19. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BMP'S SUCH AS SILT FENCES, STRAW BALES, AND SEDIMENT TRAPS SHALL BE REMOVED AND THESE AREAS STABILIZED.
20. ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.
21. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED AND MULCH UNLESS OTHERWISE SPECIFIED. A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.



JOINING TWO LENGTHS OF SILT FENCE ③



NOTE:
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

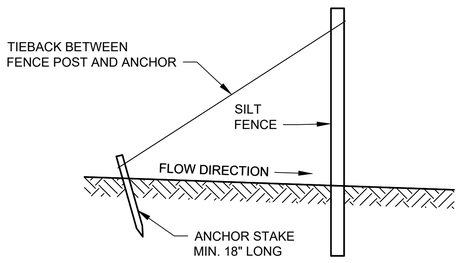
* 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED, OR IF THE SILT FENCE IS FACTORY ASSEMBLED.

ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS.

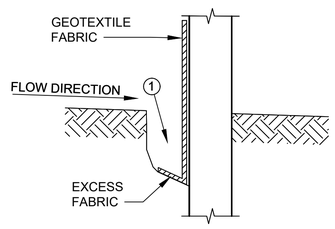
SILT FENCE

GENERAL NOTES

1. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
2. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 $\frac{1}{2}$" x 1 $\frac{1}{2}$" OF OAK OR HICKORY.
3. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.



SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)



TRENCH DETAIL

		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: EAE	.	.	.	.
	DESIGNED BY: AJL	.	.	.	.
	CHECKED BY: DWR	.	.	.	.

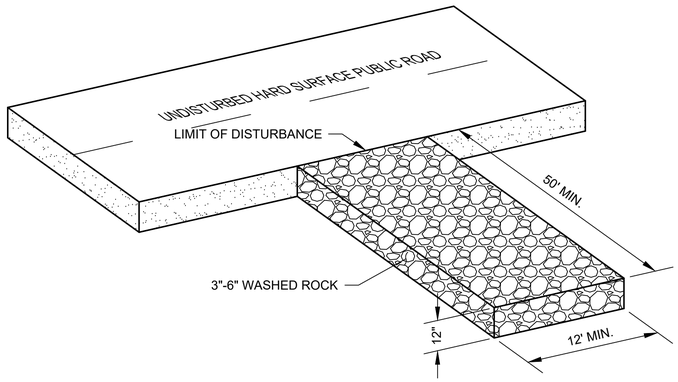
PLOT DATE: 1/22/2026 2:19 PM, G:\22\22701\22701002\CADD\Construction Documents\22701002 General Sheets.dwg

MSA
ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
2901 E Enterprise Ave, Suite 500, Appleton WI 54913
(920) 545-2083 www.msa-ps.com

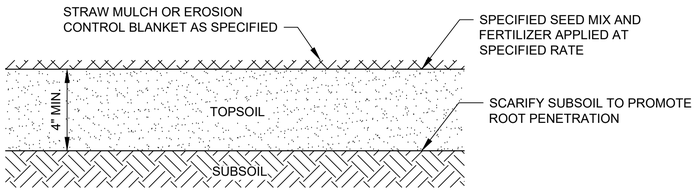
TRINITY EVANGELICAL LUTHERAN CHURCH
CITY OF KIEL
MANITOWOC COUNTY, WISCONSIN

CONSTRUCTION DETAILS

PROJECT NO. 22701002
SHEET G 3

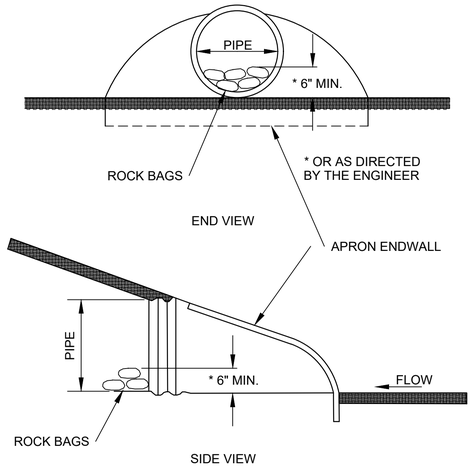


VEHICLE TRACKING PAD
NO SCALE

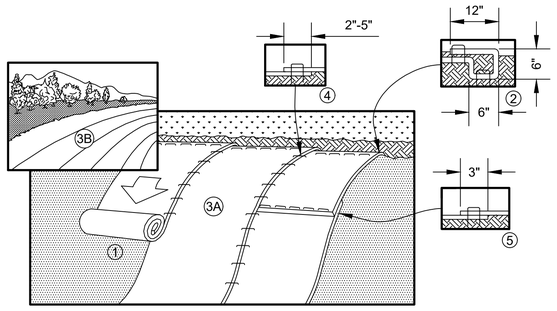


NOTE: WHERE REQUIRED, PLANT HERBACEOUS PLUGS ACCORDING TO PLAN, OR AS DIRECTED BY ENGINEER.

TOPSOIL AND SEEDING DETAIL
NO SCALE



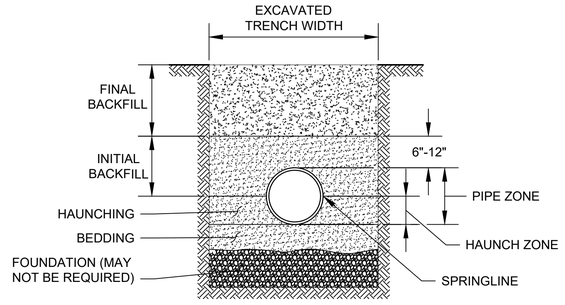
CULVERT PIPE CHECKS
INSTALL ON INLET PIPE



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5 CM-12.5 CM) OVERLAP DEPENDING ON BLANKET TYPE.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH.

NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

EROSION CONTROL BLANKET DETAIL
NO SCALE

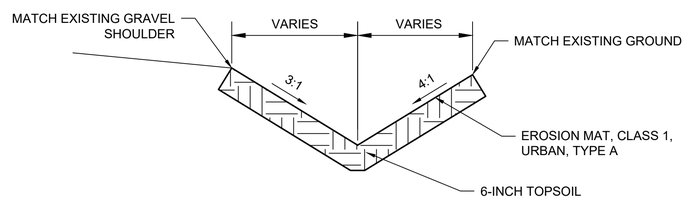


GENERAL NOTES:

1. DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO ASTM D2321.
2. CLASS II EMBEDMENT MATERIAL SHALL BE CLEAN, COARSE-GRAINED SOILS WITH LITTLE TO NO FINES. NO PARTICLES LARGER THAN 1 1/2 -INCHES SHALL BE USED IN THE PIPE EMBEDMENT.
3. WHERE HYDRAULIC GRADIENT EXISTS USE A WELL-GRADED MIXTURE TO MINIMIZE MIGRATION OF FINES FROM ADJACENT SOIL.
4. CLASS II MATERIAL IS SUITABLE AS A FOUNDATION AND FOR REPLACING OVER- EXCAVATED AND UNSTABLE TRENCH BOTTOM. INSTALL AND COMPACT IN 6-INCH MAXIMUM LAYERS.
5. INSTALL AND COMPACT BEDDING IN 6-INCH MAXIMUM LAYERS. LEVEL FINAL GRADE BY HAND. MINIMUM DEPTH 4 INCH (6 INCH IN ROCK CUTS.)
6. INSTALL AND COMPACT HAUNCHING IN 6-INCH MAXIMUM LAYERS. WORK IN AROUND PIPE BY HAND TO PROVIDE UNIFORM SUPPORT.
7. INSTALL AND COMPACT INITIAL BACKFILL TO A MINIMUM OF 6 INCH ABOVE PIPE CROWN.
8. EMBEDMENT COMPACTION:

   MINIMUM DENSITY 85% STANDARD PROCTOR. USE HAND TAMPERS OR VIBRATORY COMPACTORS.

CLASS II - FLEXIBLE PIPE EMBEDMENT DETAIL
NO SCALE



DITCH TYPICAL SECTION
NTS

		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: EAE	.	.	.	.
	DESIGNED BY: AJL	.	.	.	.
	CHECKED BY: DWR	.	.	.	.

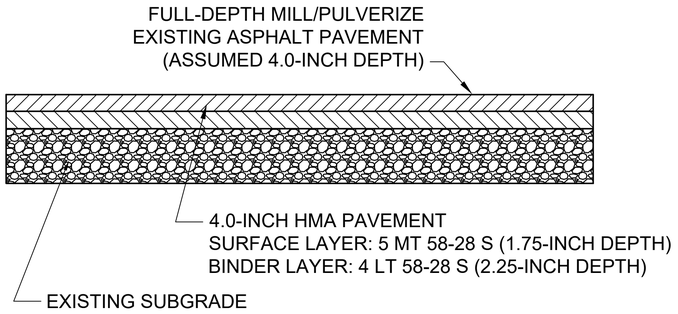
PLOT DATE: 1/22/2026 2:19 PM, G:\22\22701\2701002\CADD\Construction Documents\22701002 General Sheets.dwg

MSA
ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
2901 E Enterprise Ave, Suite 500, Appleton WI 54913
(920) 545-2083 www.msa-ps.com

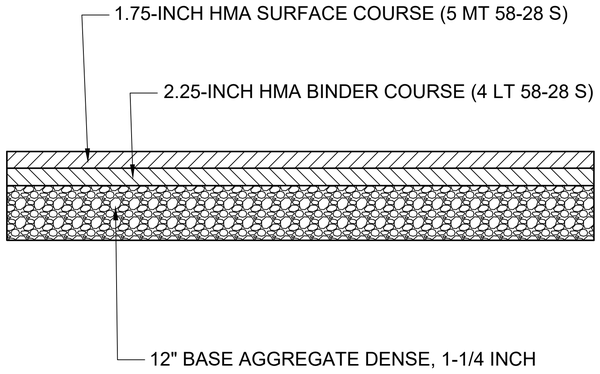
TRINITY EVANGELICAL LUTHERAN CHURCH
CITY OF KIEL
MANITOWOC COUNTY, WISCONSIN

CONSTRUCTION DETAILS

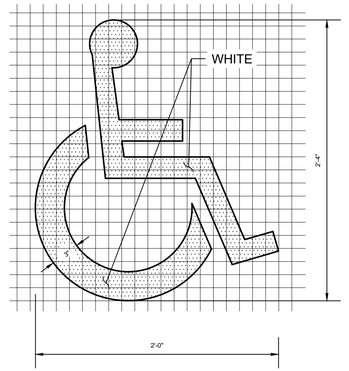
PROJECT NO. 22701002
SHEET G 4



ASPHALT PAVEMENT SECTION - MILLING
NO SCALE

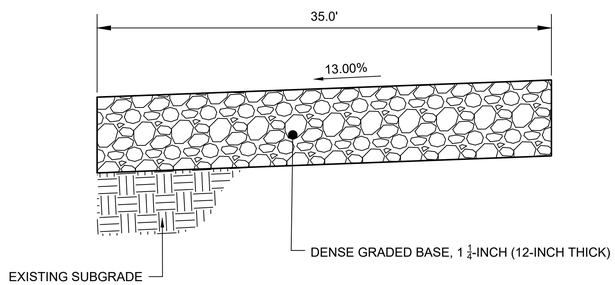


ASPHALT PAVEMENT SECTION
NO SCALE

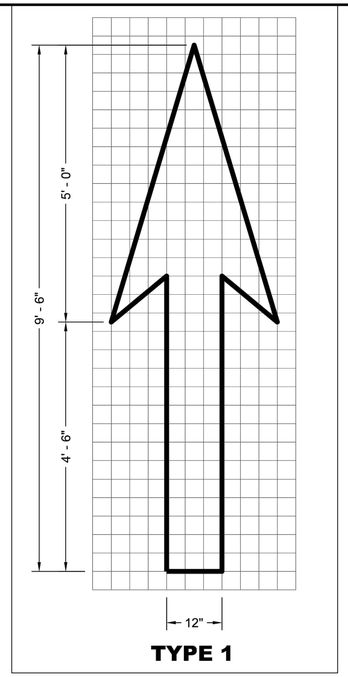


INTERNATIONAL SYMBOL OF ACCESS
NO SCALE

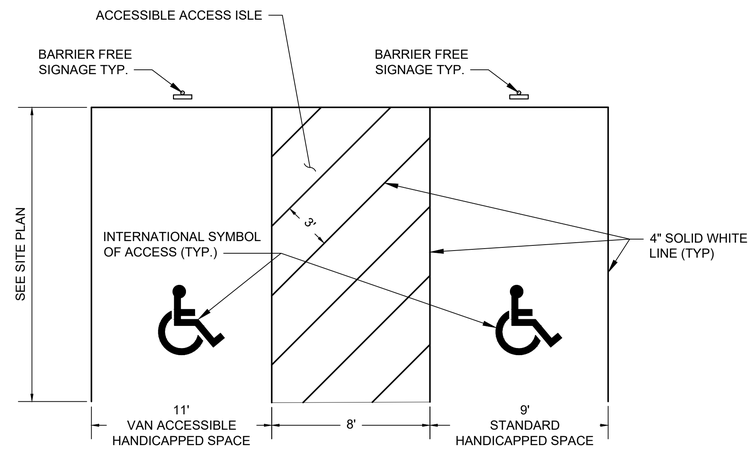
GENERAL NOTES:
1. DETAILS OF INSTALLATION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
2. A DETAILED DRAWING OF THE DISABLED PARKING SYMBOL IS ILLUSTRATED IN THE "STANDARD HIGHWAY SIGNS MANUAL" BY THE FEDERAL HIGHWAY ADMINISTRATION.
3. WDOT SPEC. MEANS THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AS AMENDED BY THE MOST CURRENT INTERIM SUPPLEMENTAL SPECIFICATION.
4. PROVIDE DISABLED PARKING STALLS AT LOCATIONS SHOWN ON THE DRAWINGS. STALL AND ACCESS ISLE DIMENSIONS SHALL BE AS SHOWN ON THE DETAIL UNLESS INDICATED OTHERWISE ON THE DRAWING.
5. PROVIDE A DISABLED SYMBOL AND BARRIER FREE SIGNAGE FOR EACH STALL SHOWN ON THE DRAWING.
6. PROVIDE WHEEL STOPS WHEN SHOWN ON THE DRAWINGS.
7. THE MAXIMUM SURFACE SLOPE, ACROSS STALLS OR ACCESSIBLE ROUTES, IN ANY DIRECTION, SHALL BE 2%.



FIELD ENTRANCE TYPICAL SECTION
NOT TO SCALE



PAVEMENT MARKING ARROW
NO SCALE



ACCESSIBLE PARKING STALL
NO SCALE

		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: EAE	.	.	.	.
	DESIGNED BY: AJL	.	.	.	.
	CHECKED BY: DWR	.	.	.	.

PLOT DATE: 1/22/2026 2:19 PM, G:\22\22701\22701002\CADD\Construction Documents\22701002 General Sheets.dwg

MSA
ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
2901 E Enterprise Ave, Suite 500, Appleton WI 54913
(920) 545-2083 www.msa-ps.com

TRINITY EVANGELICAL LUTHERAN CHURCH
CITY OF KIEL
MANITOWOC COUNTY, WISCONSIN

CONSTRUCTION DETAILS

PROJECT NO. 22701002
SHEET G 5

SDD 8F1 Apron Endwalls for Culvert Pipe

METAL APRON ENDWALLS

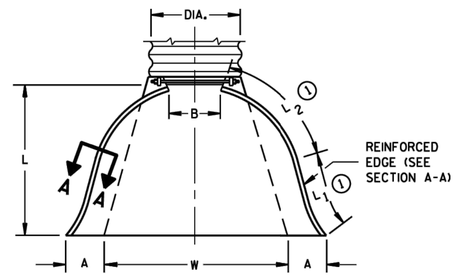
PIPE DIA. (IN.)	MIN. THICK. (Inches) STEEL	MIN. THICK. (Inches) ALUM.	DIMENSIONS (Inches) A (±1")	B (MAX.)	H (±1")	L (±1 1/2")	L1 ①	L2 ①	W (±2")	APPROX. SLOPE	BODY
12	.064	.060	6	6	6	21	12	17 1/2	24	2 1/2 to 1	1 Pc.
15	.064	.060	7	8	6	26	14	21 3/4	30	2 1/2 to 1	1 Pc.
18	.064	.060	8	10	6	31	15	28 1/4	36	2 1/2 to 1	1 Pc.
21	.064	.060	9	12	6	36	18	29 5/8	42	2 1/2 to 1	1 Pc.
24	.064	.075	10	13	6	41	18	37 1/4	48	2 1/2 to 1	1 Pc.
30	.079	.075	12	16	8	51	18	52 1/4	60	2 1/2 to 1	1 Pc.
36	.079	.105	14	19	9	60	24	59 3/4	72	2 1/2 to 1	2 Pc.
42	.109	.105	16	22	11	69	24	75 5/8	84	2 1/2 to 1	2 Pc.
48	.109	.105	18	27	12	78	24	81	90	2 1/4 to 1	3 Pc.
54	.109	.105	18	30	12	84	30	65 1/2	102	2 1/4 to 1	3 Pc.
60	.109×	.105×	18	33	12	87	—	—	114	2 to 1	3 Pc.
66	.109×	.105×	18	36	12	87	—	—	120	2 to 1	3 Pc.
72	.109×	.105×	18	39	12	87	—	—	126	2 to 1	3 Pc.
78	.109×	.105×	18	42	12	87	—	—	132	1 1/2 to 1	3 Pc.
84	.109×	.105×	18	45	12	87	—	—	138	1 1/2 to 1	3 Pc.
90	.109×	.105×	18	37	12	87	—	—	144	1 1/2 to 1	3 Pc.
96	.109×	.105×	18	35	12	87	—	—	150	1 1/2 to 1	3 Pc.

× EXCEPT CENTER PANEL SEE GENERAL NOTES

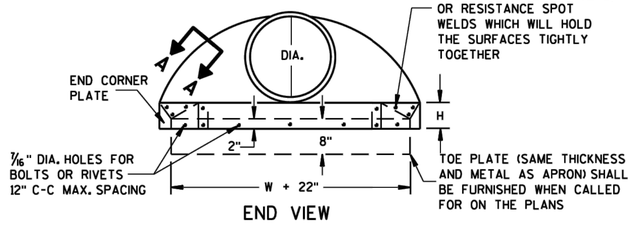
REINFORCED CONCRETE APRON ENDWALLS

PIPE DIA. (IN.)	DIMENSIONS (Inches) T	A	B	C	D	E	G	APPROX. SLOPE
12	2	4	24	48 7/8	72 7/8	24	2	3 to 1
15	2 1/4	6	27	46	73	30	2 1/4	3 to 1
18	2 1/2	9	27	46	73	36	2 1/2	3 to 1
21	2 3/4	9	36	37 1/2	73 1/2	42	2 3/4	3 to 1
24	3	9 1/2	43 1/2	30	73 1/2	48	3	3 to 1
27	3 1/4	10 1/2	49 1/2	24	73 1/2	54	3 1/4	3 to 1
30	3 1/2	12	54	19 3/4	73 1/2	60	3 1/2	3 to 1
36	4	15	63	34 3/4	97 1/4	72	4	3 to 1
42	4 1/2	21	63	35	98	78	4 1/2	3 to 1
48	5	24	72	26	98	84	5	3 to 1
54	5 1/2	27	65	* 33 1/4 - ** 35	* 98 1/4 - ** 100	90	5 1/2	2 2/5 to 1
60	6	* 30 - ** 35	60	39	99	96	5	2 to 1
66	6 1/2	* 24 - ** 30	* 72 - ** 78	* 21 - ** 27	99	102	5 1/2	2 to 1
72	7	* 24 - ** 36	78	21	99	108	6	2 to 1
78	7 1/2	* 24 - ** 36	78	21	99	114	6 1/2	2 to 1
84	8	36	90 1/2	21	111 1/2	120	6 1/2	1 1/2 to 1
90	8 1/2	41	87 1/2	24	111 1/2	132	6 1/2	1 1/2 to 1

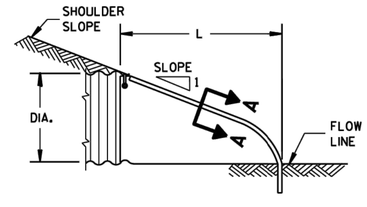
*MINIMUM
**MAXIMUM



PLAN VIEW

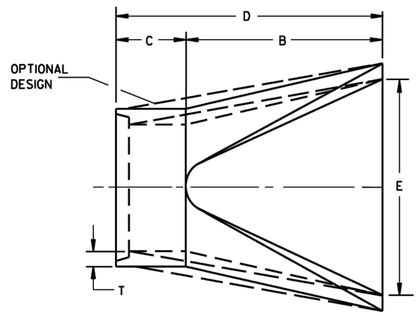


END VIEW

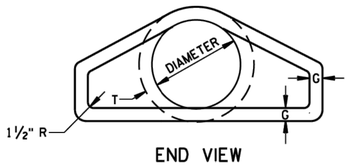


SIDE ELEVATION

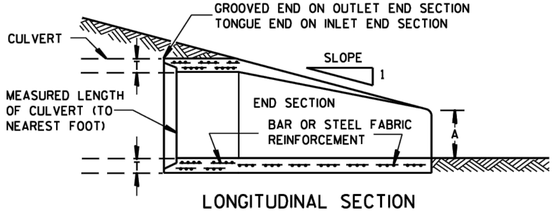
METAL ENDWALLS



PLAN

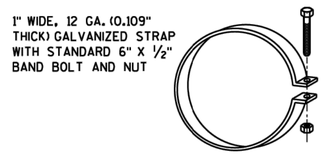


END VIEW



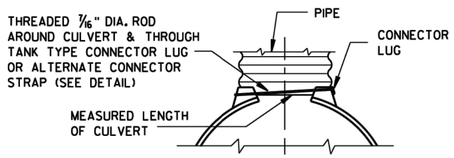
LONGITUDINAL SECTION

CONCRETE ENDWALLS

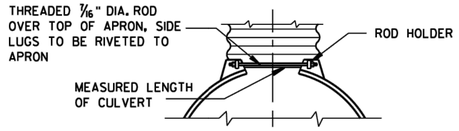


ALTERNATE FOR TYPE 1 CONNECTION

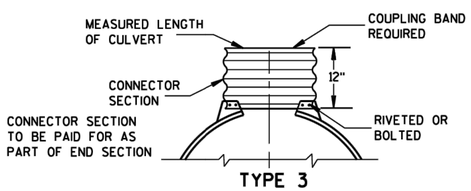
END SECTION CONNECTOR STRAP



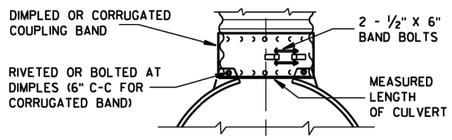
TYPE 1
FOR 12" THRU 24" CORR. PIPE



TYPE 2
FOR 30" THRU 96" CORR. PIPE



TYPE 3
FOR 42" THRU 96" CORR. PIPE



TYPE 5
ALTERNATE FOR:
ALL SIZES CORRUGATED CIRCULAR PIPE

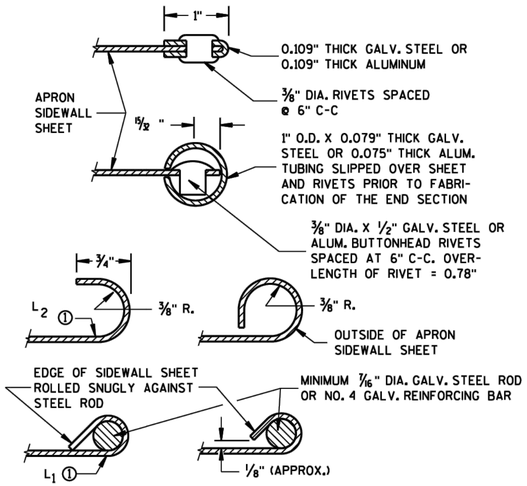
NOTE: DIMPLED BAND FITS OVER OUTSIDE OF ENDWALL, AND CORRUGATED BAND FITS INSIDE ENDWALL. DIMPLED BAND MAY BE USED WITH HELICALLY CORRUGATED PIPE.

FOR CIRCUMFERENTIALLY CORRUGATED PIPE USE ENDWALL CONNECTION DETAILS 1, 2, 3 OR 5 AS APPLICABLE.

FOR HELICALLY CORRUGATED PIPE USE ENDWALL CONNECTION DETAILS 1, 2 OR 5.

FOR HELICALLY CORRUGATED PIPES WITH TWO CIRCUMFERENTIAL CORRUGATIONS AT EACH END USE ENDWALL CONNECTION DETAILS 1, 2 OR 3.

CONNECTION DETAILS



SECTION A-A

GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

CONCRETE CULVERT ENDWALLS MAY NOT BE USED WITH GALVANIZED STEEL OR ALUMINUM CULVERT PIPE OR VISE VERSA. GALVANIZED STEEL OR ALUMINUM ENDWALLS SHALL NORMALLY BE INSTALLED ON CULVERT PIPE OF THE SAME METAL.

ALL THREE PIECE STEEL APRON ENDWALLS FOR 60" DIAMETER PIPE AND LARGER SHALL HAVE 0.109" SIDES AND 0.138" CENTER PANELS. ALL THREE PIECE ALUMINUM APRON ENDWALLS FOR 60" DIAMETER PIPE AND LARGER SHALL HAVE 0.105" SIDES AND 0.134" CENTER PANELS. THE WIDTH OF CENTER PANELS SHALL BE GREATER THAN 20 PERCENT OF THE PIPE PERIMETER.

LAP SEAMS SHALL BE TIGHTLY JOINED BY GALVANIZED RIVETS OR BOLTS FOR STEEL UNITS AND ALUMINUM RIVETS AND BOLTS FOR ALUMINUM UNITS. FOR THE 60" THROUGH 96" DIAMETER APRON ENDWALL SIZES, THE REINFORCED EDGES AND CENTER PANEL SEAMS SHALL BE FURTHER REINFORCED WITH GALVANIZED STEEL OR ALUMINUM STIFFENER ANGLES. THE ANGLES SHALL BE ATTACHED BY GALVANIZED NUTS AND BOLTS FOR STEEL UNITS AND ALUMINUM NUTS AND BOLTS FOR ALUMINUM UNITS.

WHERE TWO OR MORE PIPES WITH APRON ENDWALLS ARE LAID ADJACENT TO EACH OTHER, THEY SHALL BE SEPARATED BY A DISTANCE SUFFICIENT TO PROVIDE A MINIMUM CLEARANCE OF 6 INCHES BETWEEN APRON ENDWALLS.

① FOR PIPE SIZES UP TO 60" DIAMETER, A 180° ROLLED EDGE MAY BE USED INSTEAD OF STEEL ROD REINFORCEMENT. SEE SECTION A-A.

APRON ENDWALLS FOR CULVERT PIPE

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
8-30-94 DATE
/S/ Rory L. Rhinesmith
CHIEF ROADWAY DEVELOPMENT ENGINEER
FHWA

S.D.D. 8 F 1-11

6

NO.	DATE	REVISION	BY
.	.	.	.
.	.	.	.
.	.	.	.

PROJECT DATE: .
DRAWN BY: EAE
DESIGNED BY: AJL
CHECKED BY: DWR

PLOT DATE: 1/22/2026 2:19 PM, G:\22\22701\22701002\CADD\Construction Documents\22701002 General Sheets.dwg

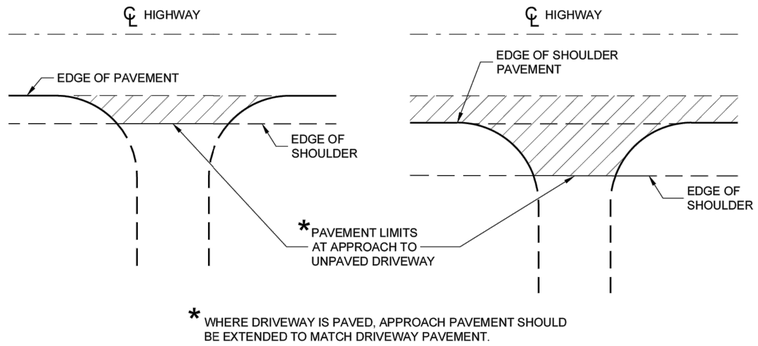
MSA
ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
2901 E Enterprise Ave, Suite 500, Appleton WI 54913
(920) 545-2083 www.msa-ps.com

TRINITY EVANGELICAL LUTHERAN CHURCH
CITY OF KIEL
MANITOWOC COUNTY, WISCONSIN

CONSTRUCTION DETAILS

PROJECT NO. 22701002
SHEET G 6

SDD 08D21 Driveways without Curb and Gutter

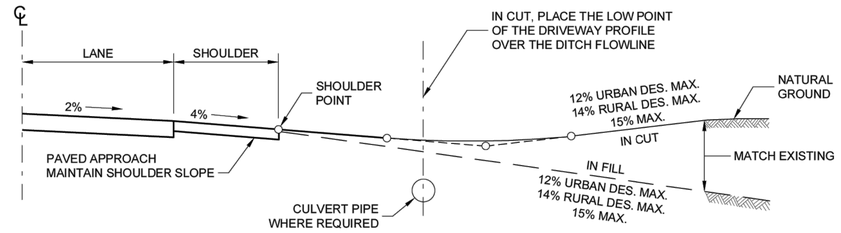


* WHERE DRIVEWAY IS PAVED, APPROACH PAVEMENT SHOULD BE EXTENDED TO MATCH DRIVEWAY PAVEMENT.

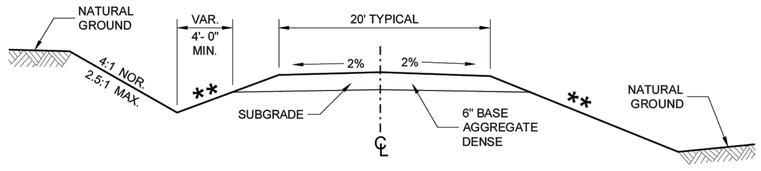
PLAN VIEW
(UNPAVED SHOULDER ON HIGHWAY)

PLAN VIEW
(PAVED SHOULDER ON HIGHWAY)

RURAL DRIVEWAY INTERSECTION DETAIL
(NO CURB AND GUTTER OR SIDEWALK)



TYPICAL DRIVEWAY PROFILES

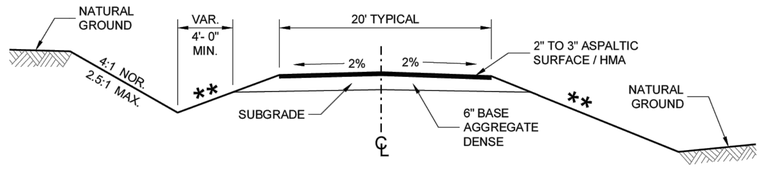


IN CUT **IN FILL**

TYPICAL CROSS SECTION FOR PRIVATE DRIVE OR FIELD ENTRANCE AGGREGATE SURFACE

** SLOPE CAN VARY WITH SPEED. SEE 11-45-30.6.2

POSTED SPEED MPH	MAX. SLOPE
<35	4:1
≥ 35 TO < 60	6:1
≥60	10:1



IN CUT **IN FILL**

TYPICAL CROSS SECTION FOR PRIVATE DRIVE OR FIELD ENTRANCE ASPHALTIC SURFACE

DRIVEWAYS WITHOUT CURB AND GUTTER

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
December 2017 — DATE
/S/ Rodney Taylor — ROADWAY STANDARDS DEVELOPMENT UNIT SUPERVISOR
FHWA

6

SDD 08D21 - 01

6

SDD 08D21 - 01

NO.	DATE	REVISION	BY
.	.	.	.
.	.	.	.
.	.	.	.

PROJECT DATE: .
DRAWN BY: EAE
DESIGNED BY: AJL
CHECKED BY: DWR
PLOT DATE: 1/22/2026 2:19 PM, G:\22\22701\22701002\CADD\Construction Documents\22701002 General Sheets.dwg

MSA
ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
2901 E Enterprise Ave, Suite 500, Appleton WI 54913
(920) 545-2083 www.msa-ps.com

TRINITY EVANGELICAL LUTHERAN CHURCH
CITY OF KIEL
MANITOWOC COUNTY, WISCONSIN

CONSTRUCTION DETAILS

PROJECT NO. 22701002
SHEET G 7

BENCHMARK TABLE

BM. NO.	DESCRIPTION	ELEV.
CP #1	PK NAIL	905.70
CP #2	CUT "X" IN CONCRETE	899.68

0 30 60

SHED

CP#2

TRINITY EVANGELICAL LUTHERAN CHURCH
387 CEMETERY RD

TRINITY EVANGELICAL LUTHERAN CHURCH

SIDEWALK

GRASS

CATCH BASIN
RIM= 899.85
I.E.= 897.90 (18" S)

CP#1

18" CULVERT PIPE

18" APRON ENDWALL
I.E. = 897.25 (18" N)

12" PVC PIPE
I.E. = 895.38 (12" NE)

ASPHALT
PARKING LOT

GRASS

CATCH BASIN WITH
OPEN GRATE
RIM= 892.04
2" ORIFICE=889.77
STRUCTURE BOTTOM= 889.46

24" CP

24" CULVERT PIPE
I.E. = 889.59 (18" SW)
I.E. = 888.82 (18" NE)

18" APRON ENDWALL
I.E. = 896.20 (18" S)

18" CULVERT PIPE

18" CP

18" APRON ENDWALL
I.E. = 895.66 (18" N)

24" CULVERT PIPE
I.E. = 893.93 (18" S)
I.E. = 892.21 (18" N)

DANIEL H & RUTH E KUESTER REVOC
LIVING TR

CEMETERY RD

P/L

P/L

899 898 897 896 895 894 893 892 891 890 906 904 902 901 900 898 896 894 893 892 891 890 888 886

		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: EAE	.	.	.	.
	DESIGNED BY: AJL	.	.	.	.
	CHECKED BY: DWR	.	.	.	.

PLOT DATE: 1/22/2026 2:20 PM, G:\22\22701\22701002\CADD\Construction Documents\22701002 Existing Site Plan.dwg

MSA
ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
2901 E Enterprise Ave, Suite 500, Appleton WI 54913
(920) 545-2083 www.msa-ps.com

TRINITY EVANGELICAL LUTHERAN CHURCH
CITY OF KIEL
MANITOWOC COUNTY, WISCONSIN

EXISTING SITE PLAN

PROJECT NO. 22701002

SHEET ST 1

LEGEND:

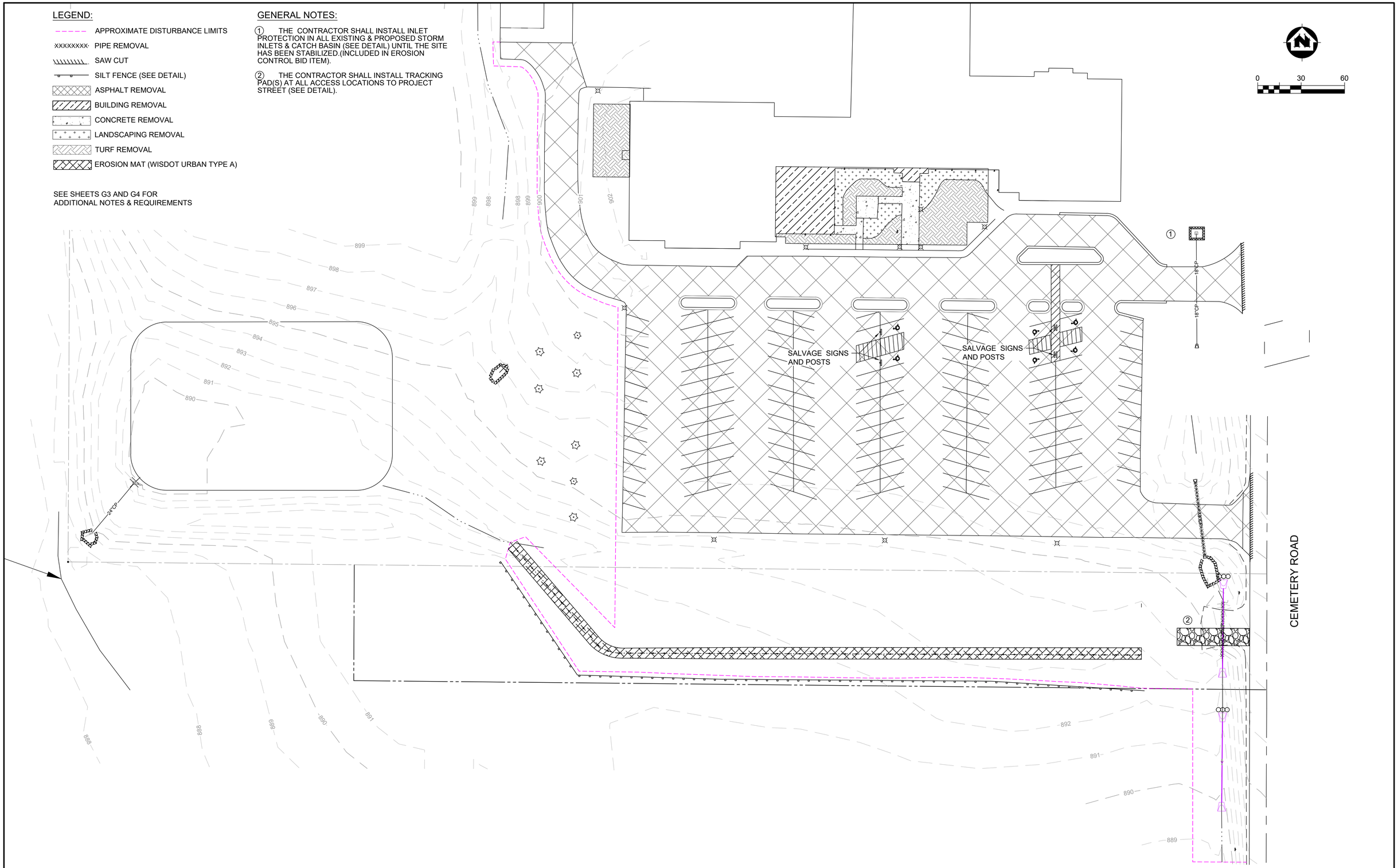
- APPROXIMATE DISTURBANCE LIMITS
- PIPE REMOVAL
- SAW CUT
- SILT FENCE (SEE DETAIL)
- ASPHALT REMOVAL
- BUILDING REMOVAL
- CONCRETE REMOVAL
- LANDSCAPING REMOVAL
- TURF REMOVAL
- EROSION MAT (WISDOT URBAN TYPE A)

SEE SHEETS G3 AND G4 FOR
ADDITIONAL NOTES & REQUIREMENTS

GENERAL NOTES:

① THE CONTRACTOR SHALL INSTALL INLET PROTECTION IN ALL EXISTING & PROPOSED STORM INLETS & CATCH BASIN (SEE DETAIL) UNTIL THE SITE HAS BEEN STABILIZED.(INCLUDED IN EROSION CONTROL BID ITEM).

② THE CONTRACTOR SHALL INSTALL TRACKING PAD(S) AT ALL ACCESS LOCATIONS TO PROJECT STREET (SEE DETAIL).



		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: EAE	.	.	.	.
	DESIGNED BY: AJL	.	.	.	.
	CHECKED BY: DWR	.	.	.	.

PLOT DATE: 1/22/2026 2:20 PM, G:\22\22701\2701002\CADD\Construction Documents\22701002 Erosion Control and Removals Plan.dwg

MSA
ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
2901 E Enterprise Ave, Suite 500, Appleton WI 54913
(920) 545-2083 www.msa-ps.com

TRINITY EVANGELICAL LUTHERAN CHURCH
CITY OF KIEL
MANITOWOC COUNTY, WISCONSIN

EROSION CONTROL AND REMOVALS PLAN

PROJECT NO. 22701002

SHEET ST 2

0 30 60

NOTES:
1. ALL ASPHALT MILLING SHALL REMAIN ON SITE AND BE USED FOR BASE AGGREGATE.
2. ADDED IMPERVIOUS AREA = 0.56 ACRES
3. LAND PURCHASE AREA = 0.96 ACRES

PARKING STALLS TABLE

EXISTING PARKING STALLS	146
ADDITIONAL PARKING STALLS	94
TOTAL PARKING STALLS	240

LEGEND
- ① 4-INCH THICK ASPHALT PAVEMENT
- ② MILL AND OVERLAY PAVEMENT
- ③ PAVEMENT MARKING, EPOXY, 4-INCH, WHITE (SEE DETAIL SHEET G 5)
- ④ PAVEMENT MARKING, EPOXY, WHITE, TYPE 1 ARROW (SEE DETAIL SHEET G 5)
- ⑤ RELOCATED FIELD ENTRANCE
- ⑥ SAW CUT
- ⑦ PAVEMENT MARKING, EPOXY, WHITE, ADA SYMBOL (SEE DETAIL SHEET G 5)
- EOP EDGE OF PAVEMENT
- EOG EDGE OF GRAVEL

PROPOSED ADDITION
PROPOSED ADDITION
43.5' RADIUS EOP
RELOCATE FLAGPOLE
18" CP
18" CP
26' RADIUS EOP
4 TYP.
4 TYP.
7 TYP.
7 TYP.
3 TYP.
3 TYP.
20
40
41
39
41
38
21
75°
9' (TYP.)
75°
9' (TYP.)
9.3' TYP.
9.3' TYP.
15.5' TYP.
15.5' TYP.
SWITCH LIGHT HEAD TO DUAL HEADS
26'
33' TYP.
27' TYP.
77.8'
4 TYP.
26.3'
104.2'
4 TYP.
358.77'
PROPOSED STORMWATER AREA
TEMPORARY STOCKPILE
24" CP
CAUTION DRAIN TILE
PROPOSED DITCH
CITY OF KIEL/TOWN OF SCHLESWIG LINE
CEMETERY ROAD
REMOVE EXISTING DRIVEWAY, CULVERT AND RIP RAP. REGRADE DITCH TO DRAIN TO NEW DRIVEWAY CULVERT.
18" CP
25' RADIUS EOP
RELOCATED DRIVEWAY AND CULVERT
24" CP
25' RADIUS EOP
25' RADIUS EOG
25' RADIUS EOG

NO.	DATE	REVISION	BY
.	.	.	.
.	.	.	.
.	.	.	.

PROJECT DATE: .
DRAWN BY: EAE
DESIGNED BY: AJL
CHECKED BY: DWR
PLOT DATE: 1/22/2026 2:20 PM, G:\22\22701\22701002\CADD\Construction Documents\22701002 Proposed Site Plan.dwg

MSA
ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
2901 E Enterprise Ave, Suite 500, Appleton WI 54913
(920) 545-2083 www.msa-ps.com

TRINITY EVANGELICAL LUTHERAN CHURCH
CITY OF KIEL
MANITOWOC COUNTY, WISCONSIN

PROPOSED SITE PLAN

PROJECT NO. 22701002
SHEET ST 3

NOTE:
1. SLOPES OF THE EXISTING PAVEMENT ARE FROM MANITOWOC COUNTY GIS DATA.

0 20 40 80

CEMETERY RD

899.71 899.23 899.34 899.95 899.83 900.59 900.57 901.66 902.03 900.38 900.45 901.05 901.18 901.28 900.79 900.80 900.82

-3.6% -3.5% -2.9% -3.8% -4.2% -3.5%

18"CP 18"CP 24"CP

894.57 EX 894.46 EX 894.66 EX 894.92 EX 895.58 EX 896.46 EX 897.15 EX

-1.1% -1.2% -1.1% -1.0% -1.2%

896.61

893.41 893.58 893.76 894.05 894.81 895.56 896.31

-1.2% -1.1% -1.1% -1.1%

892.12 896.67 892.37

24"CP

A APRON ENDWALL,CMP, 24-INCH
IE = 892.94 (24" S)

899.44 EX

897.00

67 L.F. - STORM SEWER, CMP, 24-INCH @-3.46%

24"CP

896.70

896.86 EX

896.27 EX

APRON ENDWALL,CMP, 24-INCH
IE = 890.61 (24" N) B

APRON ENDWALL,CMP, 24-INCH
IE = 890.36 (24" S) C

891.39

68 L.F. - STORM SEWER, CMP, 24-INCH @-1.93%

890.08

APRON ENDWALL,CMP, 24-INCH
IE = 889.05 (24" N) D

894.24 EX

		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: EAE	.	.	.	.
	DESIGNED BY: AJL	.	.	.	.
	CHECKED BY: DWR	.	.	.	.

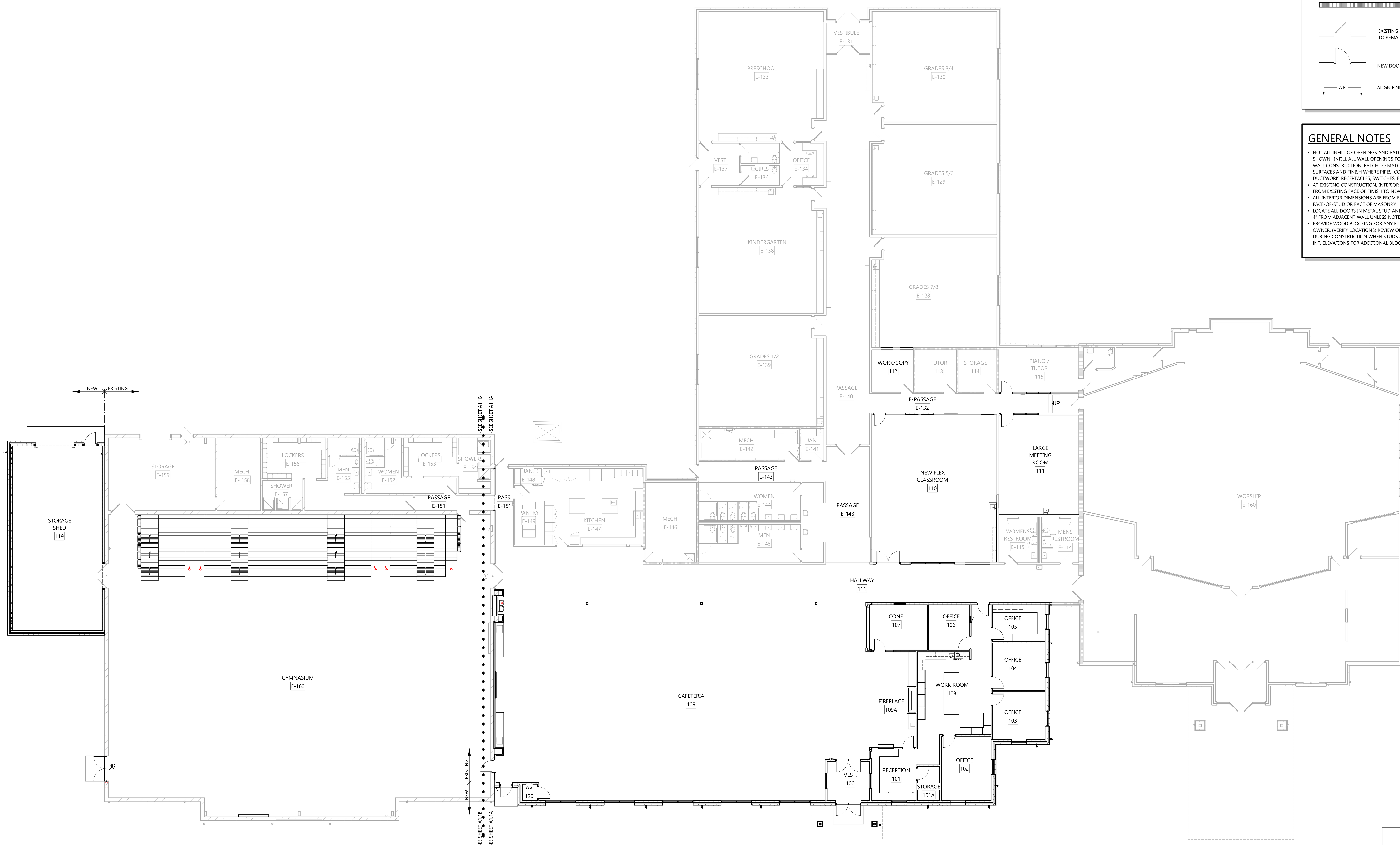
PLOT DATE: 1/22/2026 2:20 PM, G:\22\22701\22701002\CADD\Construction Documents\22701002 Grading Plan.dwg

MSA
ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
2901 E Enterprise Ave, Suite 500, Appleton WI 54913
(920) 545-2083 www.msa-ps.com

TRINITY EVANGELICAL LUTHERAN CHURCH
CITY OF KIEL
MANITOWOC COUNTY, WISCONSIN

GRADING PLAN

PROJECT NO 22701002
SHEET ST 4



NORTH

FLOOR PLAN - OVERALL

SCALE: 3/32" = 1'-0"

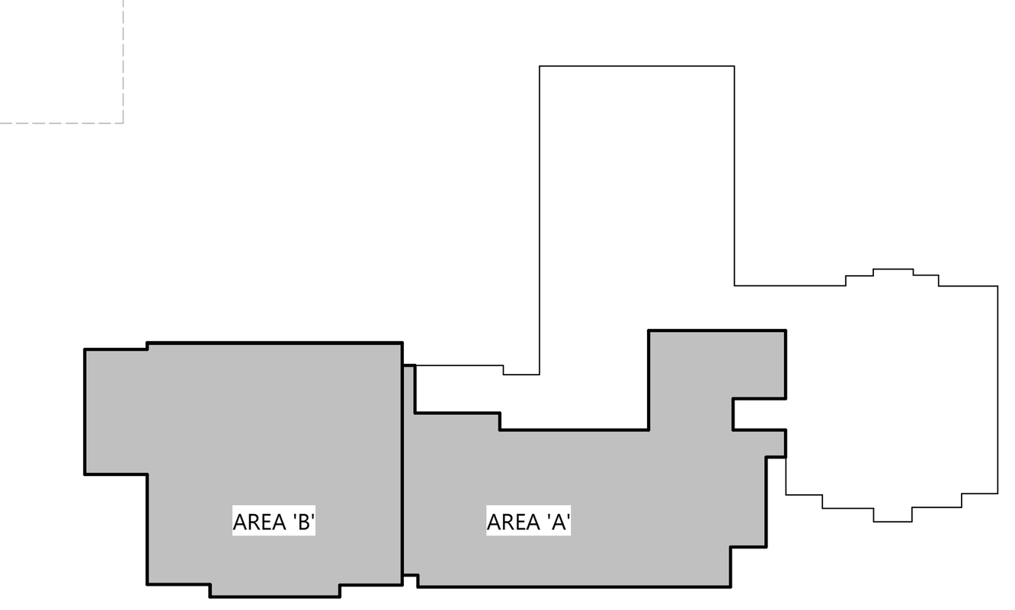
0' 8' 16'

SYMBOLS LEGEND

- 4W22 — INTERIOR WALL TYPE -SEE SHEET ---
- EXIT SIGNAGE
- FIRE EXTINGUISHER -SEE A5 SHEETS
- FIRE EXTINGUISHER w/ CABINET -SEE A5 SHEETS
- EXISTING WALL TO REMAIN
- NEW STUD WALL
- NEW MASONRY VENEER
- NEW C.M.U. WALL
- (2) HOUR FIRE RATED
- EXISTING DOOR TO REMAIN
- NEW DOOR
- A.F. — ALIGN FINISH

GENERAL NOTES

- NOT ALL INFILL OF OPENINGS AND PATCHING ARE SHOWN. INFILL ALL WALL OPENINGS TO MATCH EXISTING WALL CONSTRUCTION, PATCH TO MATCH ADJACENT SURFACES AND FINISH WHERE PIPES, CONDUIT, DUCTWORK, RECEPTACLES, SWITCHES, ETC. ARE REMOVED.
- AT EXISTING CONSTRUCTION, INTERIOR DIMENSIONS ARE FROM EXISTING FACE OF FINISH TO NEW FACE OF STUD.
- ALL INTERIOR DIMENSIONS ARE FROM FACE-OF-STUD TO FACE-OF-STUD OR FACE OF MASONRY
- LOCATE ALL DOORS IN METAL STUD AND MASONRY WALLS 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- PROVIDE WOOD BLOCKING FOR ANY FURNISHINGS BY OWNER. (VERIFY LOCATIONS) REVIEW ON SITE W/ OWNER DURING CONSTRUCTION WHEN STUDS ARE EXPOSED. SEE INT. ELEVATIONS FOR ADDITIONAL BLOCKING LOCATIONS



KEY PLAN

ARCHITECTURAL FLOOR PLAN - OVERALL

EXCEL
Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED ADDITION FOR:
TRINITY LUTHERAN CHURCH
387 CEMETERY ROAD • KIEL, WI 53042

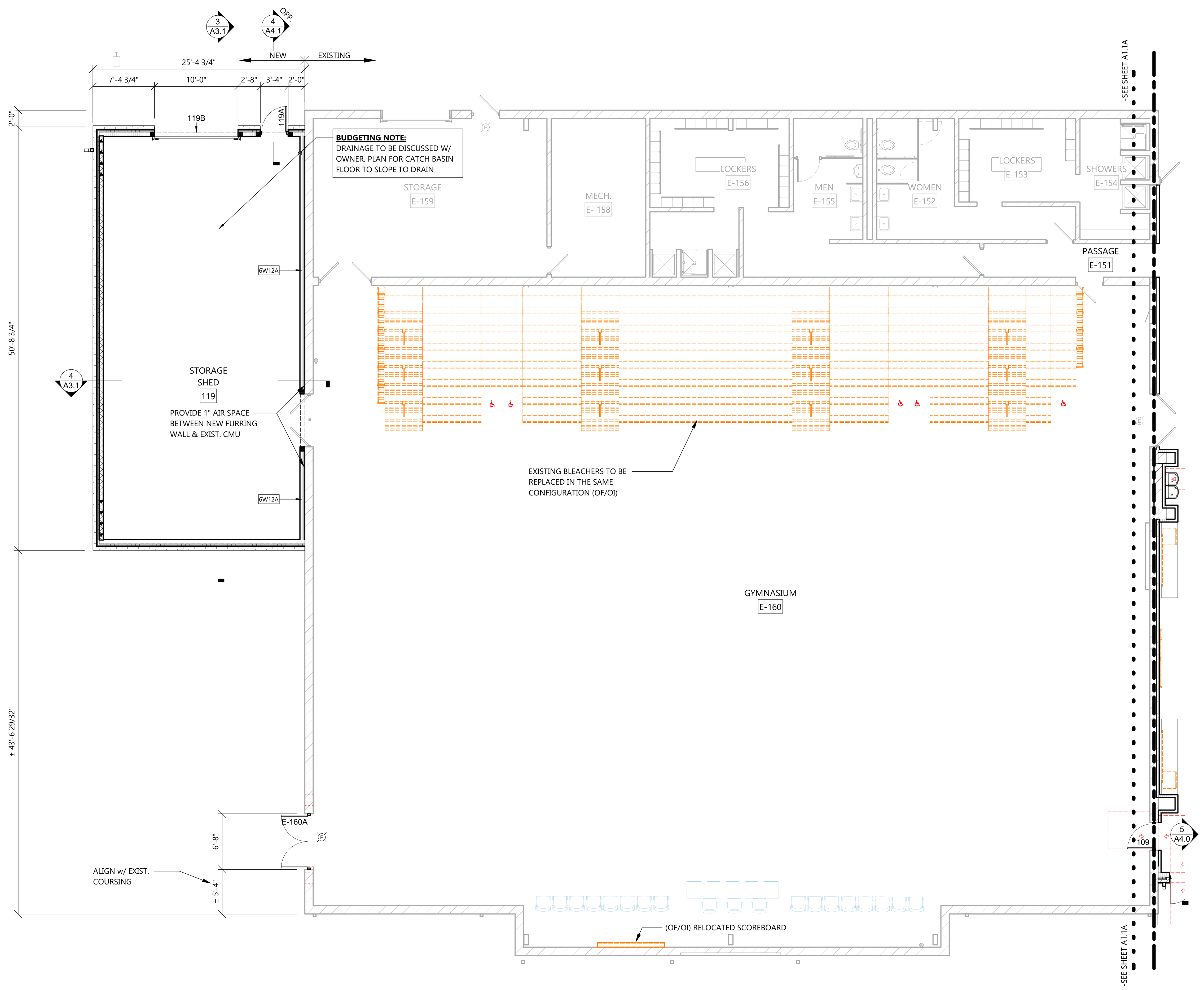
PROFESSIONAL SEAL

PRELIMINARY DATES
DEC. 12, 2025
JAN. 9, 2026

NOT FOR CONSTRUCTION

JOB NUMBER
250315500

SHEET NUMBER
A1.1



NORTH

FLOOR PLAN - AREA 'B'

SCALE: 1/8" = 1'-0"

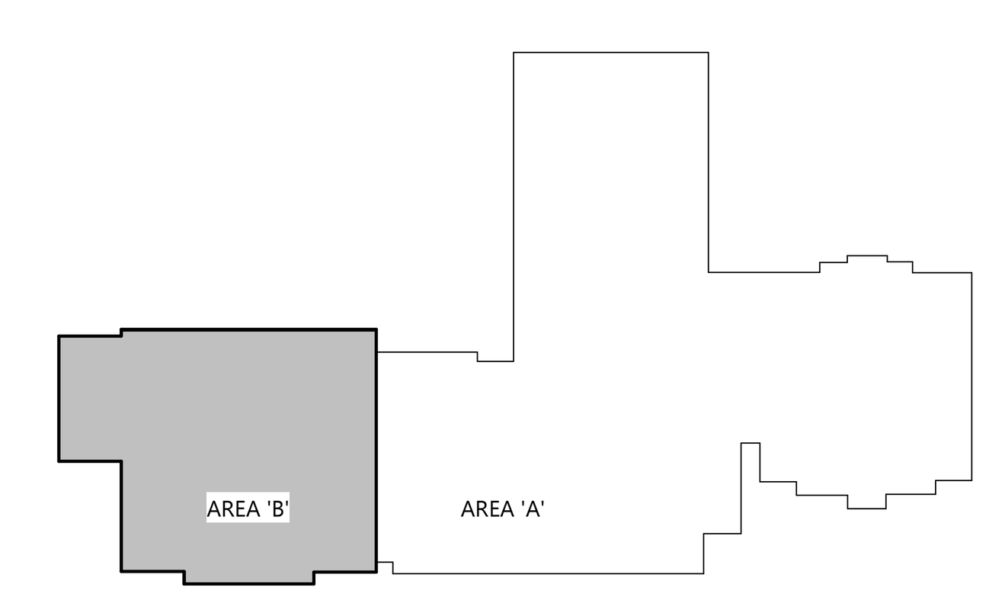
0' 8' 16'

SYMBOLS LEGEND

- 4W22 — INTERIOR WALL TYPE -SEE SHEET ---
- EXIT SIGNAGE
- FIRE EXTINGUISHER -SEE A5 SHEETS
- FIRE EXTINGUISHER w/ CABINET -SEE A5 SHEETS
- EXISTING WALL TO REMAIN
- NEW STUD WALL
- NEW MASONRY VENEER
- NEW C.M.U. WALL
- (2) HOUR FIRE RATED
- EXISTING DOOR TO REMAIN
- NEW DOOR
- A.F. — ALIGN FINISH

GENERAL NOTES

- NOT ALL INFILL OF OPENINGS AND PATCHING ARE SHOWN. INFILL ALL WALL OPENINGS TO MATCH EXISTING WALL CONSTRUCTION, PATCH TO MATCH ADJACENT SURFACES AND FINISH WHERE PIPES, CONDUIT, DUCTWORK, RECEPTACLES, SWITCHES, ETC. ARE REMOVED.
- AT EXISTING CONSTRUCTION, INTERIOR DIMENSIONS ARE FROM EXISTING FACE OF FINISH TO NEW FACE OF STUD.
- ALL INTERIOR DIMENSIONS ARE FROM FACE-OF-STUD TO FACE-OF-STUD OR FACE OF MASONRY
- LOCATE ALL DOORS IN METAL STUD AND MASONRY WALLS 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- PROVIDE WOOD BLOCKING FOR ANY FURNISHINGS BY OWNER. (VERIFY LOCATIONS) REVIEW ON SITE W/ OWNER DURING CONSTRUCTION WHEN STUDS ARE EXPOSED. SEE INT. ELEVATIONS FOR ADDITIONAL BLOCKING LOCATIONS



KEY PLAN

ARCHITECTURAL FLOOR PLAN - AREA 'B'

EXCEL
Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED ADDITION FOR:
TRINITY LUTHERAN CHURCH
387 CEMETERY ROAD • KIEL, WI 53042

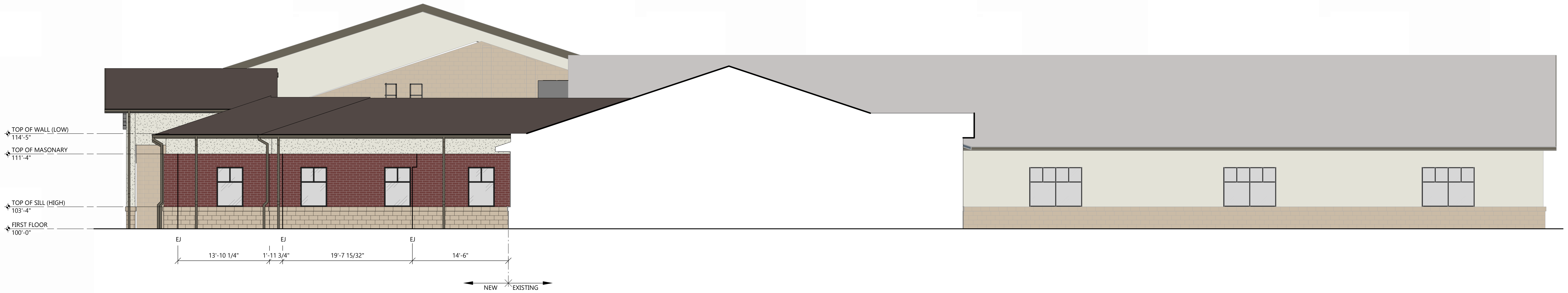
PROFESSIONAL SEAL

PRELIMINARY DATES
DEC. 12, 2025
JAN. 9, 2026

NOT FOR CONSTRUCTION

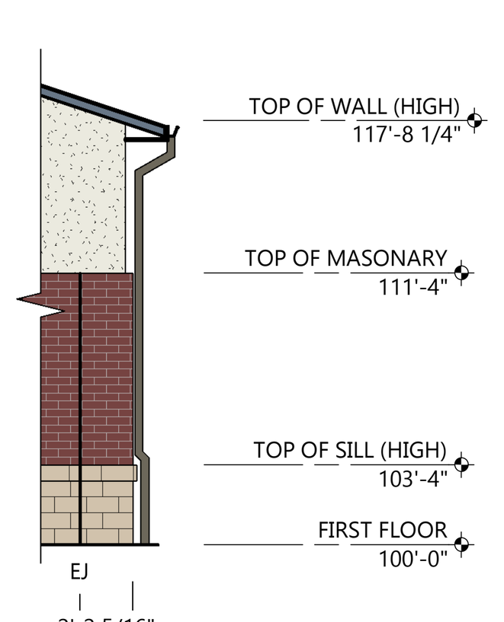
JOB NUMBER
250315500

SHEET NUMBER
A1.1B



1 / A2.0 EAST ELEVATION
SCALE: 1/8" = 1'-0"

2 / A2.0 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

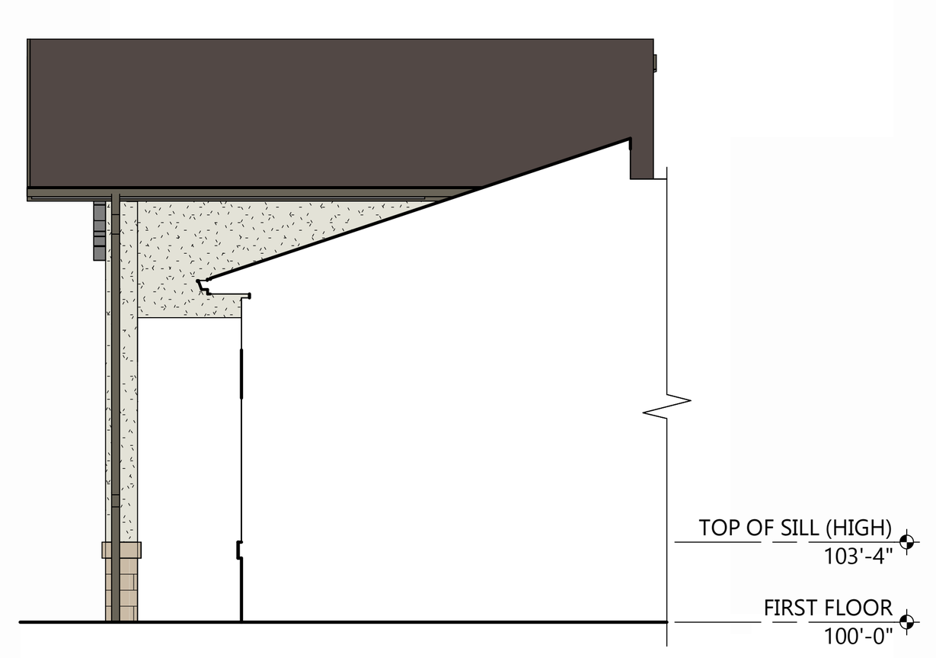


4 / A2.0 HIDDEN WEST ELEVATION
SCALE: 1/8" = 1'-0"

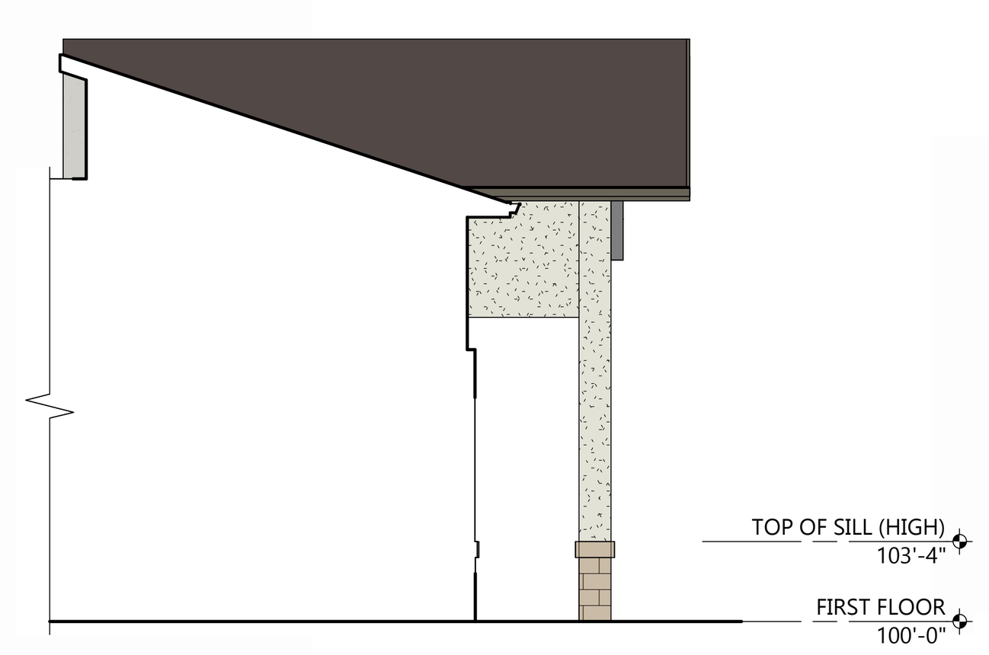
3 / A2.0 SOUTH HIDDEN ELEVATION @ CANOPY
SCALE: 1/8" = 1'-0"

ISOMETRIC VIEW

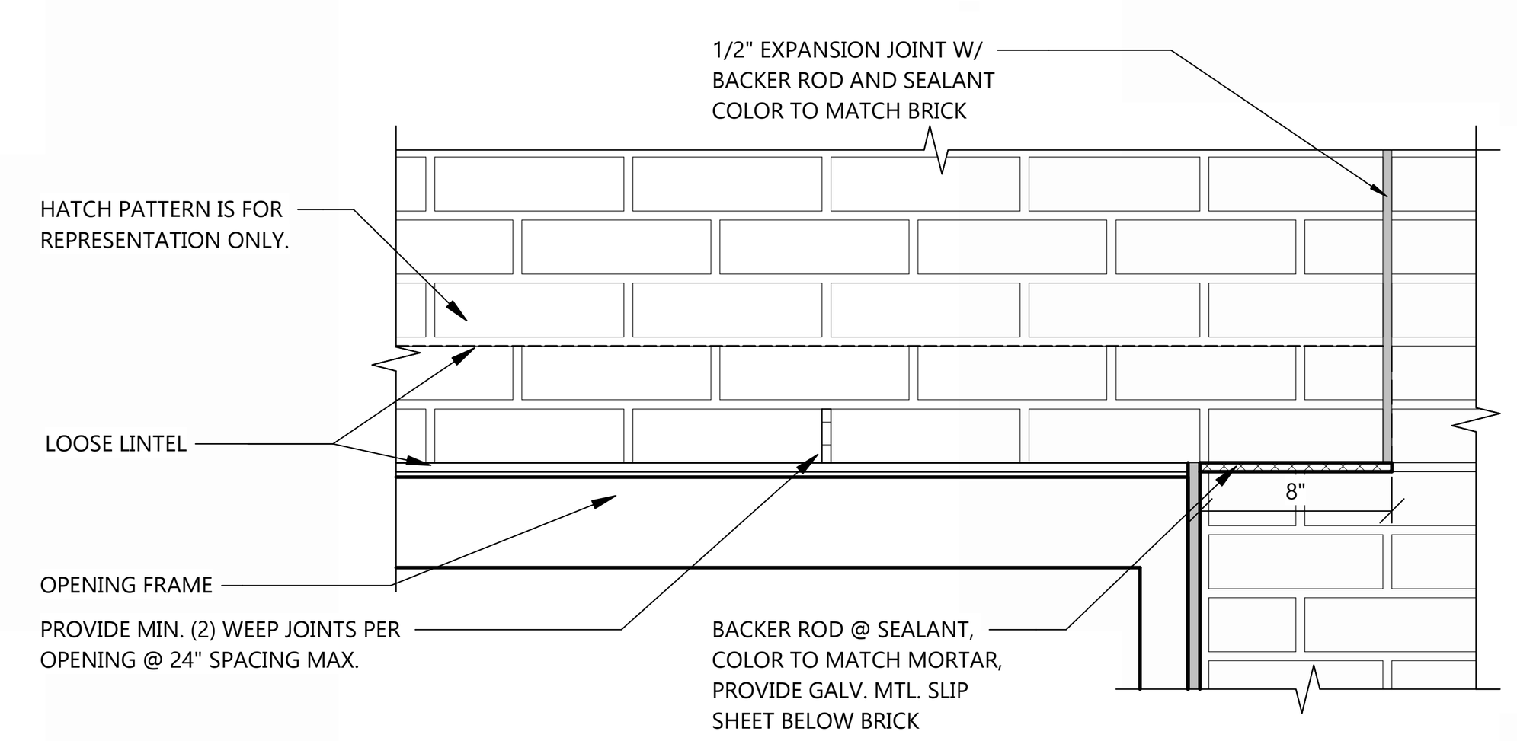
NOTE: ISOMETRIC VIEW IS FOR REFERENCE ONLY



7 / A2.0 EAST HIDDEN ELEVATION @ CANOPY
SCALE: 1/8" = 1'-0"



6 / A2.0 WEST HIDDEN ELEVATION @ CANOPY
SCALE: 1/8" = 1'-0"



5 / A2.0 TYP. BRICK VENEER EXPANSION JOINT OVER OPENING
NOT TO SCALE

EXTERIOR MATERIAL KEY

ARCHITECTURAL ASPHALT SHINGLES
MFR: MALARKEY ROOFING PRODUCTS
PRODUCT: VISTA AR
COLOR: TBD
PROVIDE SAMPLES OF WEATHERED WOOD PLUS AND NATURAL WOOD FOR OWNER AND ARCHITECT APPROVAL

PREFIN METAL
COLOR: MATCH EXISTING
PROVIDE SAMPLES FOR APPROVAL

EXTERIOR INSULATION FINISH SYSTEM (EIFS)
TEXTURE: MATCH EXISTING
COLOR: MATCH EXISTING
PROVIDE SAMPLES FOR APPROVAL

CONCRETE SPLIT-FACE MASONRY UNITS
MFR:
COLOR: PAINTED TO MATCH EXIST.
PROVIDE PAINT SAMPLE FOR OWNER AND ARCHITECT APPROVAL

BRICK VENEER
SEE SPEC.

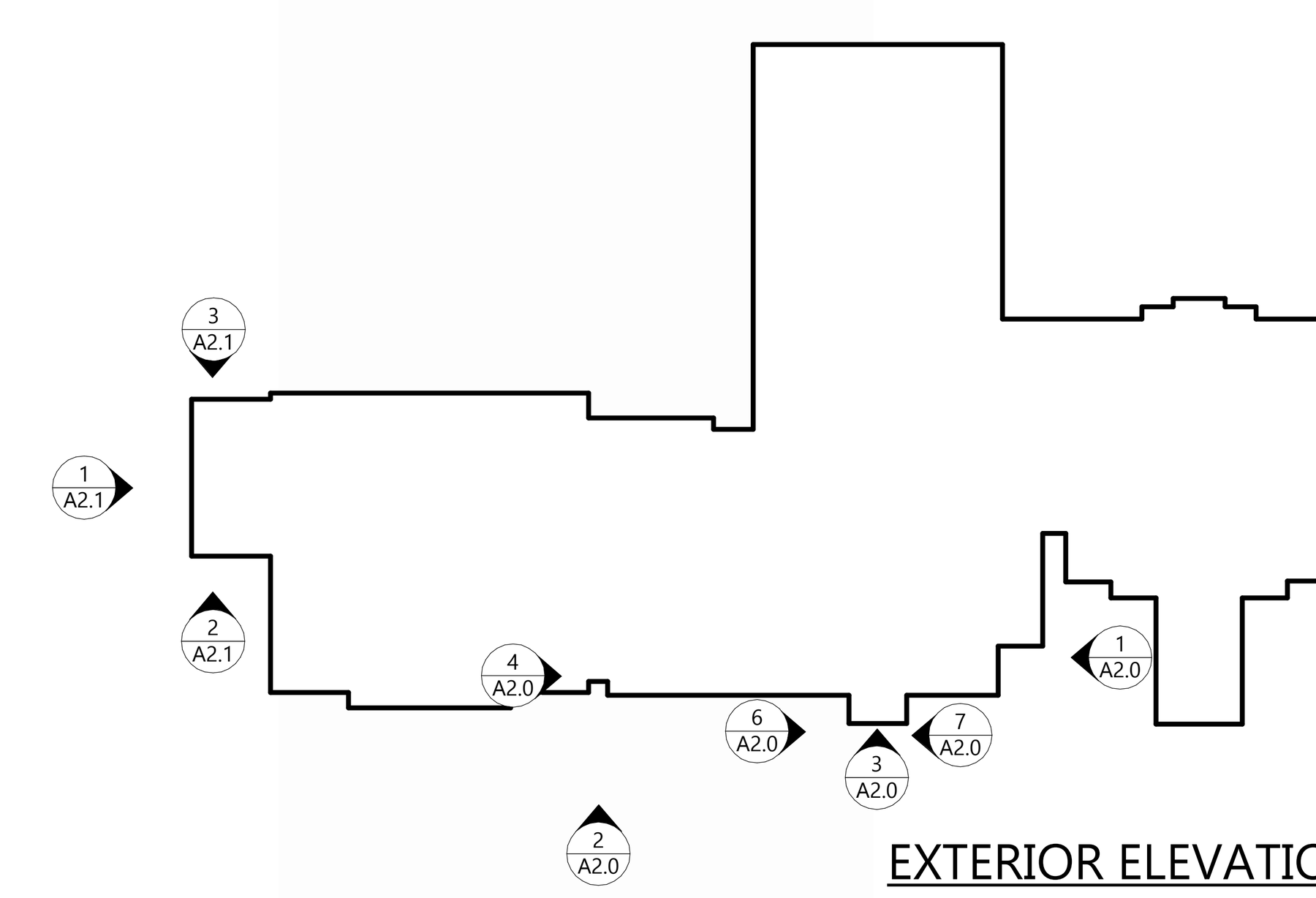
EXTERIOR SIDING PANEL
MFR: JAMES HARDIE
COLOR: TBD / STUCCO FINISH
PROVIDE SAMPLES FOR OWNER AND ARCHITECT APPROVAL

GENERAL NOTES

- EJ = EXPANSION JOINT (COLOR MATCH MASONRY) (EXPANSION JOINT @ ALL INSIDE CORNERS)

MASONRY VENEER SPECIFICATION

MANUFACTURER:	TBD
COLOR SIZE:	UTILITY (MATCH EXISTING) MORTAR COLOR TO BE SELECTED BY ARCHITECT FROM A FULL RANGE OF STANDARD COLORS. SEND PHYSICAL SAMPLES FOR APPROVAL.
MOCK-UP:	CONTRACTOR TO PROVIDE A 64 S.F. MOCK-UP FOR APPROVAL FROM ARCH / OWNER. MOCKUP TO INCLUDE BRICK, STONE SILL, AND CONTROL JOINT



EXTERIOR ELEVATION KEY

EXCEL
Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED ADDITION FOR:
TRINITY LUTHERAN CHURCH
387 CEMETERY ROAD • KIEL, WI 53042

PROFESSIONAL SEAL

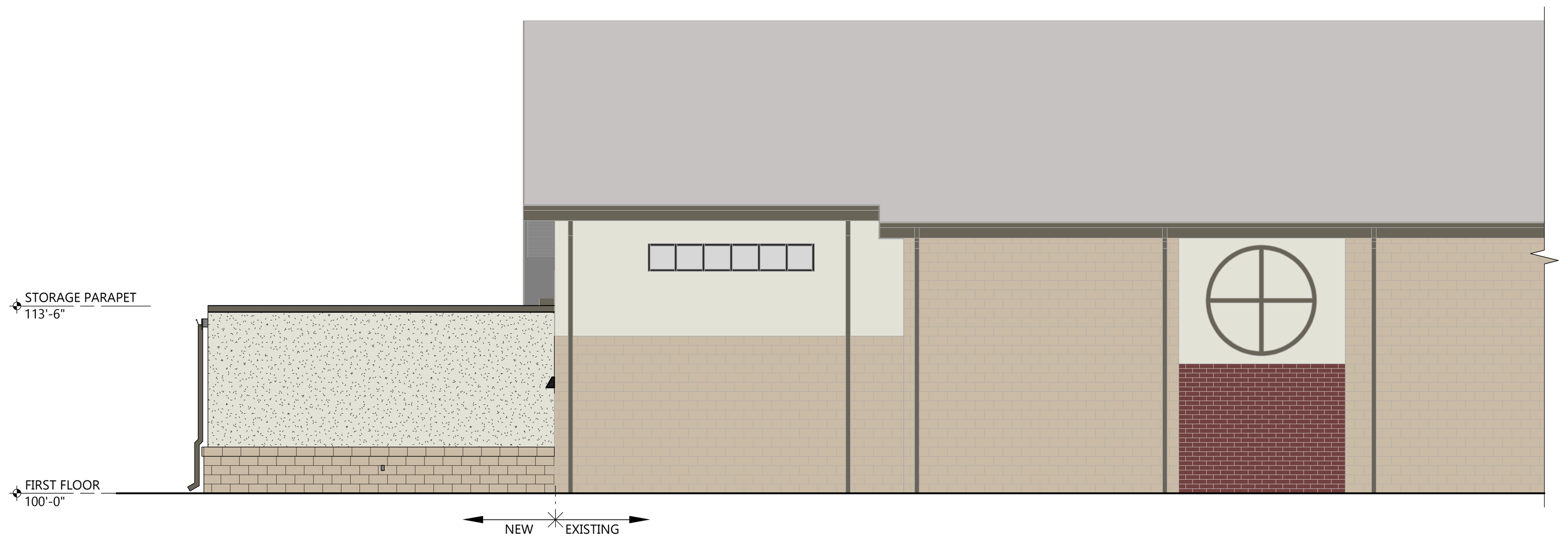
PRELIMINARY DATES
DEC. 12, 2025
JAN. 9, 2026

NOT FOR CONSTRUCTION

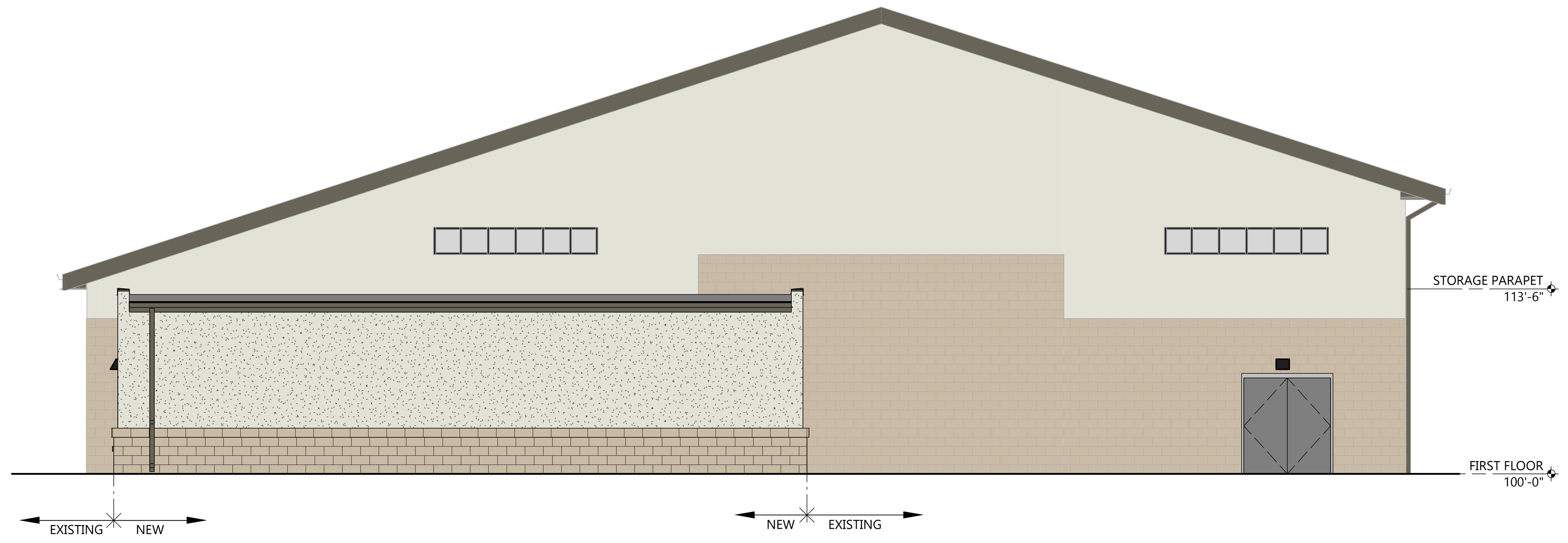
JOB NUMBER
250315500

SHEET NUMBER
A2.0

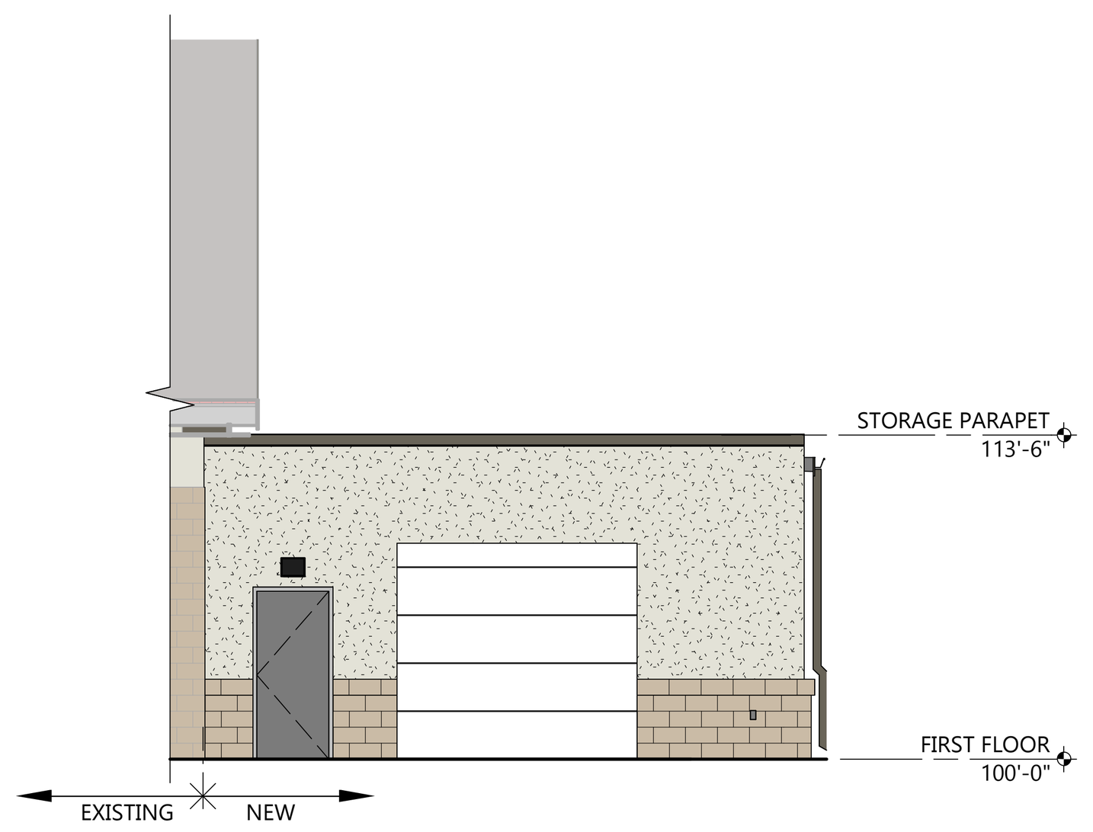
ARCHITECTURAL EXTERIOR ELEVATIONS



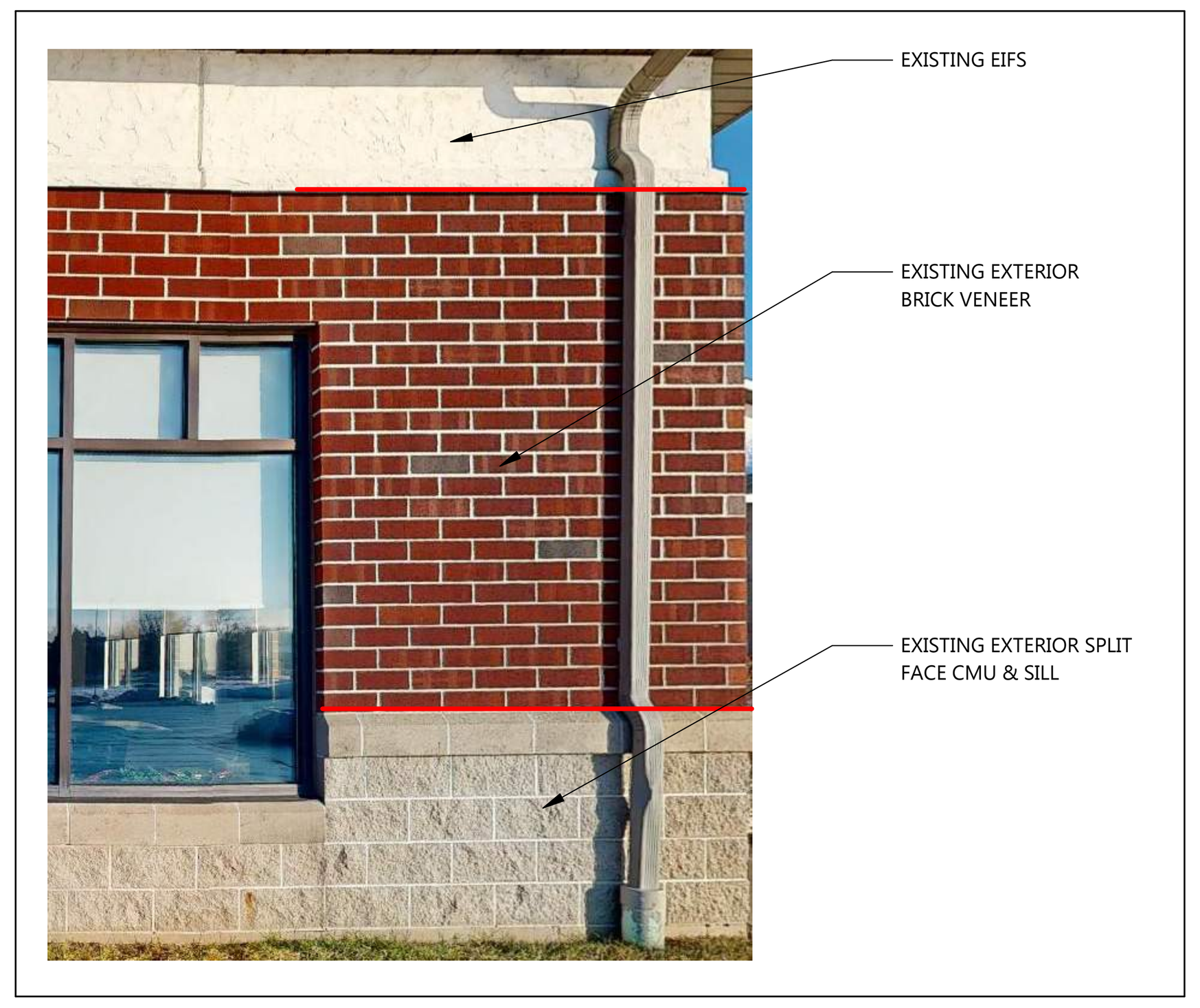
2 / A2.1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



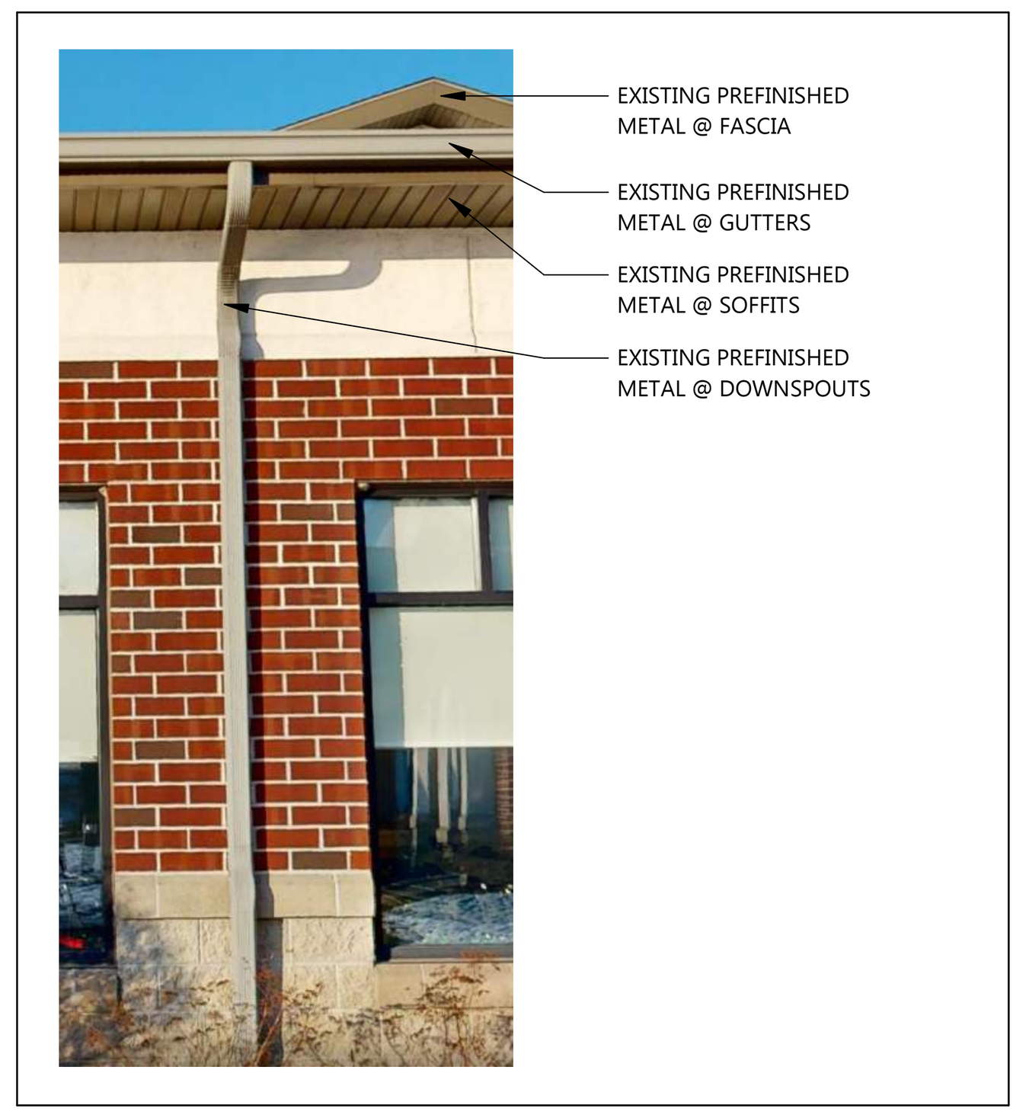
1 / A2.1 WEST ELEVATION - STORAGE
SCALE: 1/8" = 1'-0"



3 / A2.1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING EXTERIOR MATERIAL REFERENCE



EXISTING PREFIN METAL COLOR REFERENCE

EXTERIOR MATERIAL KEY

ARCHITECTURAL ASPHALT SHINGLES
MFR: MALARKEY ROOFING PRODUCTS
PRODUCT: VISTA AR
COLOR: TBD
PROVIDE SAMPLES OF WEATHERED WOOD PLUS AND NATURAL WOOD FOR OWNER AND ARCHITECT APPROVAL

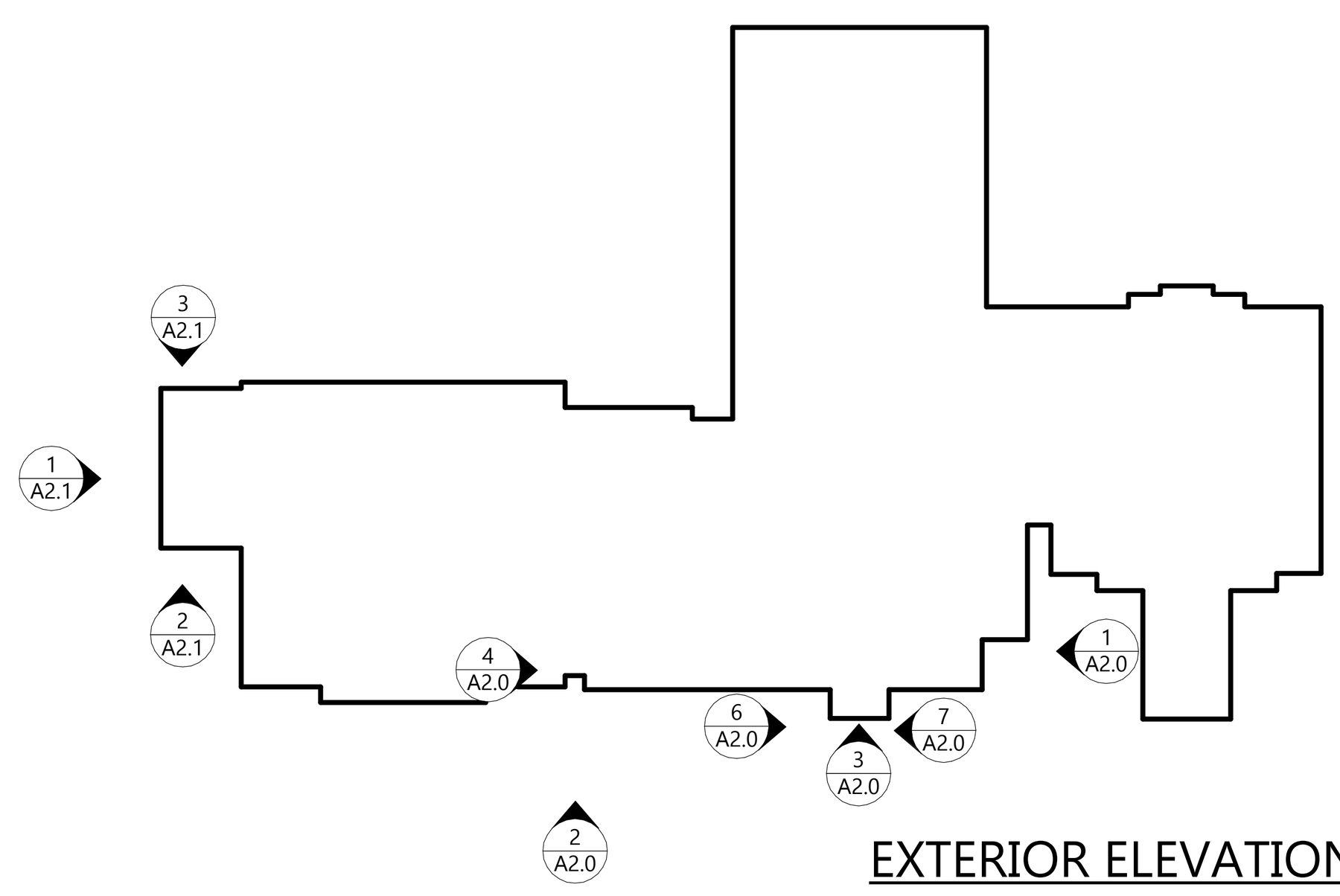
PREFIN METAL
COLOR: MATCH EXISTING
PROVIDE SAMPLES FOR APPROVAL

EXTERIOR INSULATION FINISH SYSTEM (EIFS)
TEXTURE: MATCH EXISTING
COLOR: MATCH EXISTING
PROVIDE SAMPLES FOR APPROVAL

CONCRETE SPLIT-FACE MASONRY UNITS
MFR:
COLOR: PAINTED TO MATCH EXIST.
PROVIDE PAINT SAMPLE FOR OWNER AND ARCHITECT APPROVAL

BRICK VENEER
SEE SPEC.

EXTERIOR SIDING PANEL
MFR: JAMES HARDIE
COLOR: TBD / STUCCO FINISH
PROVIDE SAMPLES FOR OWNER AND ARCHITECT APPROVAL



EXTERIOR ELEVATION KEY

EXCEL
Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED ADDITION FOR:
TRINITY LUTHERAN CHURCH
387 CEMETERY ROAD • KIEL, WI 53042

PROFESSIONAL SEAL

PRELIMINARY DATES
DEC. 12, 2025
JAN. 9, 2026

NOT FOR CONSTRUCTION

JOB NUMBER
250315500

SHEET NUMBER
A2.1

ARCHITECTURAL EXTERIOR ELEVATIONS

A SURVEY OF UNPLATTED LANDS LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 29, T.17N., R.21E., TOWN OF SCHLESWIG, MANITOWOC COUNTY, WISCONSIN.

LEGEND

- FD. SECTION CORNER
- FD. 1" IRON PIPE
- SET, 3/4" BY 18" IRON ROD - 1.50 LBS / FT
- SET MAG NAIL
- FD. 2" IRON PIPE
- (xx) RECORDED AS VALUE

SAID PARCEL IS SUBJECT TO ALL EASEMENTS RECORDED AND UNRECORDED

LOT 1 AREA EXCLUDING ROW:	47,759± SQ. FT. 1.096± ACRES
TOTAL ROW AREA:	2,640± SQ. FT. 0.061± ACRES
TOTAL LOT 1 AREA:	50,399± SQ. FT. 1.157± ACRES

0 100 200

BEARINGS ARE REFERENCED TO THE MANITOWOC COUNTY COORDINATE SYSTEM EAST LINE OF THE SE 1/4 OF SECTION 29 WHICH BEARS N 00° 15' 25" E

N

W E

S

E 1/4 CORNER
SEC 29-T17N-R21E
FND. SURVEY SPIKE

(550.00')
549.86'

1541.21'

EAST LINE OF THE SE 1/4
SEC.29-T17N-R21E

33' 33'

EXISTING R/W

EXISTING R/W

CEMETERY RD.

N 00°15'25" E
2643.61'

EDGE OF EX. ASPHALT PARKING AREA

VOL. 22 PG.261 DOC. #924320
OWNER:TRINITY ENANGELICAL LUTHERN CHURCH

EDGE OF EX. ASPHALT PARKING AREA

ASPHALT DRIVEWAY

(N 89°30'39" E)
S 89°25'31" E

197.62'

24'

630.00'

597.00'

33.00'

60' HIGHWAY BUILDING SETBACK

80.00'

N 00°15'25" E
80.00'

LOT 1

S 00°15'25" W
80.00'

33.00'

597.00'

N 89°25'31" W

630.00'

EX. GRAVEL
FIELD DRIVE

P.O.B.

1022.40'

SE CORNER
SEC 29-T17N-R21E
FND. SURVEY SPIKE

UNPLATTED LANDS
BY OWNER

MANITOWOC COUNTY CERTIFIED SURVEY MAP

PROJECT NO.	22701001
DRAWN BY:	T. DAVIS
SURVEYOR:	T. DAVIS
FILE NO.	22701001
SHEET NO.	1 of 2

OWNER:

DANIEL H AND RUTH E KUESTER
REVOCABLE LIVING TRUST
22610 STH 57
KIEL, WI 53042

MSA

ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
201 Corporate Drive, Beaver Dam WI 53916
(920) 887-4242 www.msa-ps.com

ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
201 Corporate Drive, Beaver Dam WI 53916
(920) 887-4242 www.msa-ps.com

PROJECT NO.	22701001
DRAWN BY:	T. DAVIS
SURVEYOR:	T. DAVIS
FILE:	22701001 KUESTER CSM.dwg
SHEET NO.	2 OF 2

MANITOWOC COUNTY CERTIFIED SURVEY MAP

A SURVEY OF UNPLATTED LANDS LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 29, T.17N., R.21E., TOWN OF SCHLESWIG, MANITOWOC COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATION

I, Timothy B. Davis, Professional Land Surveyor of the State of Wisconsin do hereby certify that by order of Daniel H. and Ruth E. Kuester Revocable Living Trust , I have surveyed and mapped lands being part of the SE 1/4 of the SE 1/4 of Section 29, all in T.17N., R.21E., Town of Schleswig, Manitowoc County, Wisconsin and being more particularly described as follows:

LEGAL DESCRIPTION

COMMENCING at the SE 1/4 Corner of Section 29, Town 17 North, Range 21 East in the Town of Schleswig, Manitowoc County, Wisconsin, thence N 00°15'25' E, along the east line of the SE 1/4 of said Section 29, 1022.40 feet the **POINT OF BEGINNING**;
thence N 89°25'31" W, 630.00 feet; thence N 00°15'25" E, 80.00 feet to a point on the south line of CSM Volume 22, Page 261-262 recorded as Document #924320 in the Manitowoc County Register of Deeds; thence
S 89°25'31" E along the south line of said CSM Volume 22, Page 261-262 , 630.00 feet to a point on the east line of the SE 1/4 of Section 29; thence S 00°15'25" W along the east line of the SE 1/4 of said Section 29, 80.00 feet to the **POINT OF BEGINNING**.

Said parcel contains 50,399 sq ft / 1.157 acres more or less
I further certify that this map is a correct representation of all of the exterior boundaries of the land surveyed, that I have complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes to the best of my knowledge and belief.

_____

Timothy B Davis, PLS S-4045

OWNER'S CERTIFICATE

As owner, I do hereby certify that we have caused the land described on this Certified Survey Map to be surveyed, mapped, and divided as represented hereon. Said owner further certifies that this Certified Survey Map is required by S.236.34, Wisconsin Statutes to be submitted to the City of Kiel for approval.

In witness whereof, authorized representative of the Daniel H. and Ruth E. Kuester Revocable Living Trust have caused these documents to be signed this

_____ day of _____, 20_____.

_____
(Print)

_____
(Signature)

Authorized Representative of the Daniel H. and Ruth E. Kuester Revocable Living Trust

State of Wisconsin) SS

_____ County) SS

Personally came before me on this ____ day of _____, 20_____, the above named authorized representative of
the City of Kiel to me known to be the person who executed the foregoing instrument, and acknowledged the same.

Notary Public, _____ County, Wisconsin
My Commission Expires _____

CITY PLANNING COMMISSION CERTIFICATE:

By virtue of extraterritorial rights, the City of Kiel hereby approves this Certified Survey Map

_____ _____
City of Kiel Representative Date

AGENDA - PLAN COMMISSION

DATE: February 5, 2026
TIME: 6:00 P.M.
LOCATION: City Council Chambers, Kiel City Hall
621 Sixth St., Kiel, Wis.
MEMBERS: Mayor Bob Hennings, Alderperson Kathy Schuette, Pete Tarnowski, Jim Fromm, John Moritz, Eric Voland, Gina Ziegelbauer

1) Mayor Bob Hennings - Call to order
2) Pledge of Allegiance
3) Roll Call
4) Approve minutes of the January 15, 2026, Plan Commission Meeting
5) Public Comment
6) Consideration of Certified Survey Map for Kuester Property
7) Consideration and Possible Action on approval of Trinity Lutheran School addition
8) Set a public hearing for the ordinance amendments to the Kiel Zoning Code 17.44 and 17.32
9) Adjournment

Bob Hennings, Mayor
Prepared by Ryan Pafford, City Administrator

Any person wishing to attend the meeting who requires special accommodation because of a disability should contact Jamie J. Aulik, City Administrator, (920) 894-2909 Ext. 102 at least 24 hours before the meeting begins so that appropriate accommodations can be made.