

Marshall County Building Codes  
3301 Courthouse Annex  
Lewisburg, TN 37091  
931-359-0567

2025

### Policy Statement:

The purpose of Marshall County Building Codes is to establish minimum requirements to safeguard the public safety, health and general welfare through affordability, structural strength, means of egress facilities, stability, sanitation, light and ventilation, energy conservation and safety to life and property from fire and other hazards attributed to the built environment, and to provide safety to fire fighters and emergency responders during emergency operations.

The Marshall County Building Codes Department currently enforces the following codes:

2024 International Residential Code for one and two-family dwellings  
2024 International Building Code  
2024 International Plumbing Code  
2024 International Mechanical Code  
2024 International Fuel Gas Code  
2024 NFPA 101  
2018 International Energy Conservation Codes as amended by the State of TN.

**\*\*All 2018 I codes will continue to be enforced until the adoption of the 2024 I codes on July 1<sup>st</sup>, 2025. \*\***

**Marshall County Codes Office has produced this document.**

### Disclaimer:

2018 IRC: R104.8 **Liability**. The building official, member of the board of appeals or employee charged with the enforcement of this code, while acting for the jurisdiction in good faith and without malice in the discharge of the duties required by this code or other pertinent law or ordinance, shall not thereby be rendered civilly or criminally liable personally and is hereby relieved from personal liability for any damage accruing to persons or property as a result of any act or by reason of an act or omission in the discharge of official duties.

While the Marshall County Building Codes Department will provide inspections to ensure compliance with these codes, **the ultimate responsibility** for compliance with the appropriate code rests with the **PERMIT HOLDER**. In simple terms, this means while the Building Inspector will perform a series of inspections, if during the course of those inspections, a code violation is missed, this does not release the permit holder from the responsibility of correcting the code violation at a later date. Every effort will be taken to ensure this does not happen; however, the potential for an error does exist, and all parties are encouraged to familiarize themselves with the appropriate codes and contact the Marshall County Building Codes Department with any and all questions. A viewing of any code referenced in the 2018 IRC and IBC is available for the asking and also available at [ICC - International Code Council - ICC](https://www.iccsafe.org/) .

# Building Permit and Inspections

All permit applications can be entered through the permit portal by going to: [Building Permit Application - Marshall County](#).

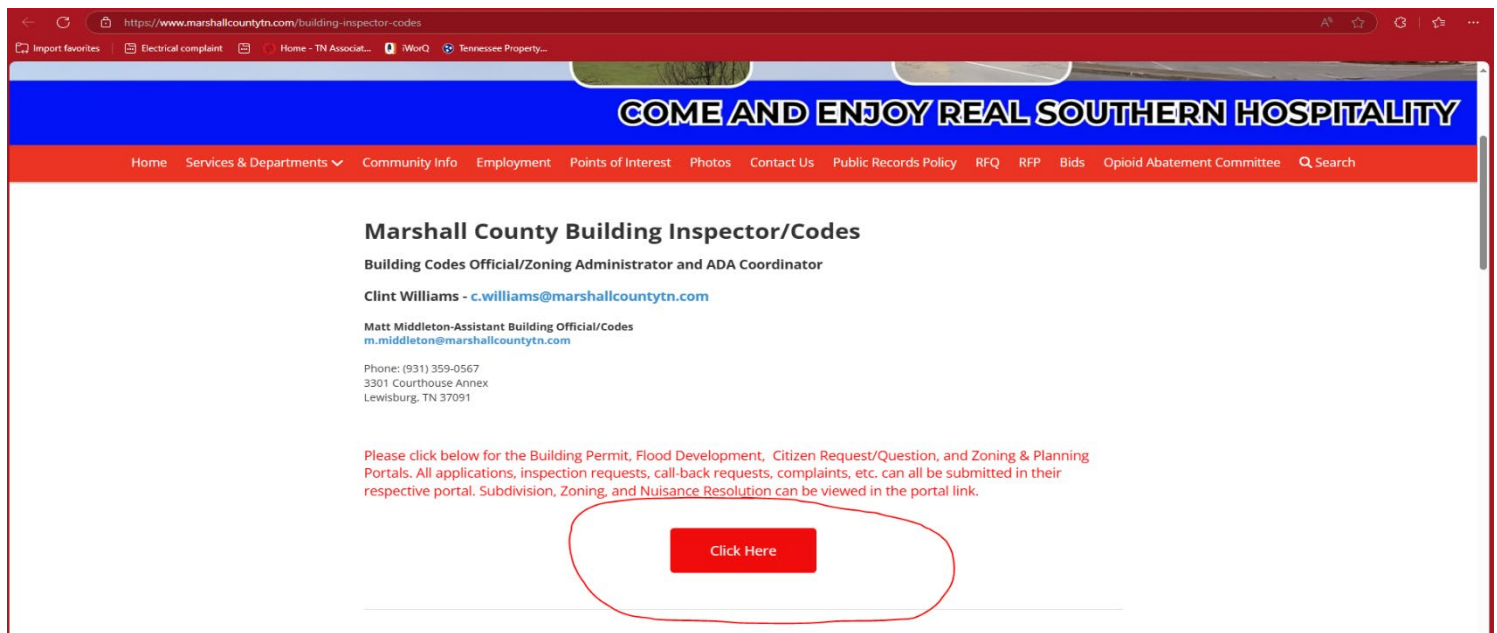
All inspection requests can be scheduled through the permit portal by going to: [Inspections - Marshall County](#).

Please try and use the provided portal for all inspection requests. Once your project permit is approved, we ask you to submit payment in full before scheduling inspections.

Prescheduled Inspections and inspections scheduled through the online portal will take precedence over last-minute call-in inspections. All inspections to be scheduled with 24-hour notice.

Additional information on tiny homes, energy, TDEC, and pools can be found within this portal.

## [Citizen Portal](#)



## Inspection Schedule

**\*\* All new construction is required to go through but is not limited to the following inspections: \*\***

1. **Footer or slab plumbing** – Footer should be dry, completed, and cleanly excavated with a minimum 2 runs of #4 rebar on chairs. Minimum 12-inch trench. Slab plumbing – all joints/connections installed with purple primer 10-foot water head test and supply lines pressurized.
2. **Slab** - After all turndowns are excavated, rebar completed and installed, perimeter insulation installed, gravel, and vapor barrier installed. Slab plumbing is required to be passed and plumbing sleeved through foundation walls.
3. **Foundation** – After all blocks, anchors, foundation coating, interior grade, and positive drains are installed and complete. The sill plate, termite barrier and sill gasket shall be installed at the time of inspection.

**\*\*Framing, Plumbing, and Mechanical rough ins are encouraged to be conducted at the same time.\*\***

4. **Framing** – After all framing is complete including roof and exterior sheeting. All windows and doors are installed. House wrap is in place and windows taped.
5. **Plumbing** – After all rough-in plumbing is installed and complete. All shield plates are required to be installed and a 10-foot water head test and working pressure supply line test required. Quick connects required on all quick close valves. **\*\* No vents shall be terminated through a soffit \*\***
6. **Mechanical** – After all refrigerant, gas, lines/appliances/exhaust installed. BTU/appliance manuals are required to be submitted to the office by rough in gas inspections. **\*\* No vents shall be terminated through a soffit \*\***
7. **Insulation** – After passing framing, plumbing, and mechanical inspections. All insulation is to be installed. All headers and plates are required to be caulked. Windows U factor sticker/documentation required. Fiberglass insulation must bear the manufacturer's mark, and a vapor barrier installed. A permanent marker is required to be installed in the electrical by the insulation installer certifying all U and R values.

### **FINAL INSPECTION:**

Before the Final Inspection is called in, please make sure you have received your passing electrical final, and the final grade is complete, along with all life safety requirements including but not limited to handrails, egress, mechanical, and fire protection requirements are installed.

**R110.1 Use and occupancy.** A building or structure shall not be used or occupied, and a change of occupancy or change of use of a building or structure or portion thereof shall not be made until the building official has issued a certificate of occupancy therefore as provided herein. Issuance of a certificate of occupancy shall not be construed as an approval of a violation of the provisions of this code or of other ordinances of the jurisdiction. Certificates presuming to give authority to violate or cancel the provisions of this code or other ordinances of the jurisdiction shall not be valid.

**NOTE:** The following is provided to help with the inspection process but does not cover the code in its entirety. A copy of all adopted codes is available for viewing at the Marshall County Building Codes Office.

- **Residential Fire Suppression:**

Townhomes (3 or more attached dwellings) are required to have a full fire suppression system and a minimum 1-hour firewall.

Two Two-story duplexes (2 attached dwellings) in Marshall County are required to have a full suppression system with a minimum 1-hour firewall.

- **Fire Stop/Caulk:**

All penetrations from plumbing, electrical, refrigerant, and/or mechanical, etc. that penetrate a top plate, floor deck, fire blocking, or fire separation walls are required to be protected by a UL-listed fire caulking. All HVAC that penetrates fire separation wall(s) are required to have a UL-listed fire damper.

- **Smoke and Carbon Monoxide Detection:**

Homes with attached garages, or fuel-fired appliances are required to have carbon monoxide detectors installed outside of each sleeping area in the immediate vicinity of the bedroom. Combo Smoke/CO detectors will be accepted.

All sleeping rooms are required to have a smoke detector in and out of each room and one on each level with an additional detector at ceiling transitions with a difference of 24 inches.

All detectors are required to be hardwired when more than two detectors are used for the same residence. An approved wireless system can be an alternative to hardwire.

- **Appliances located in the garage:**

Appliances that generate a glow, spark, or flame capable of igniting gasoline vapors and located in a garage shall be installed with burners, burner ignition devices, or heating elements and switches at least 18" above the floor level and protected from impact.

- **Fire Separation:**

If a house has an attached garage, and there is living space above the garage, the ceiling is required to have 5/8 type X gypsum board installed, the walls supporting the ceiling must have ½" gypsum board minimum, and inspection prior to mud tape.

Any door between an attached garage and the house must be solid, have no glass, unless UL listed for the appropriate fire separation, and must be self-closing and latching. No door may lead from the garage directly into a sleeping area

- **Egress Windows:**

All sleeping areas, or habitable spaces above the first floor, or basement must have a means of escape in the event of a fire. It can be a door that opens directly outside or a window. If it is a

window, it is required to have a minimum net opening of 5.7 square feet. Grade windows can be downgraded to 5.0 net opening. A copy of the appropriate code is available for the asking.

- **Safety Glazing Safety/Tempered Glass:**

Windows within 24" of a door, windows larger than 9 square feet, windows less than 18" off the floor, or windows less than 60" from the floor of a tub or 60" will require safety glazing. TCA 68-120-302 requires all safety glazing to be permanently marked. See Below Details.

- **Fall Protection:**

Windows more than 72" above grade must be at least 24" above the finished floor. Windows that are less than 24 inches from the finished floor with the grade of 72 inches or above will require fall protection.

- **Termite protection:**

A termite shield is required between the foundation and the sill plate and between the top of the piers and girders.

- **Finish Grade:**

The finish grade must fall a minimum of 6" within the first 10' around the house. Positive Drain, water cutoff, and cleanout must be identified.

- **911 Address:**

The residence is to be clearly marked and visible from the road with a minimum of 4-inch letters. If numbers are not visible from the road a clearly marked address will be required on the road/drive.







# Information on Flood Properties and Adequate Facilities Tax

## Floodplain Information

If the property is located within a Special Flood Hazard Area, federal law requires that a flood insurance policy be obtained as a condition of a Federally backed mortgage or loan that is secured by the building. Additionally, all applicable provisions of the Floodplain Ordinance contained in the Zoning Resolution of Marshall County will apply. If the property is not shown in a Special Flood Hazard Area, there is no guarantee that the property will not be subject to flooding. All construction within a floodplain is required to be regulated. Marshall County Flood Development information can be found here → [Citizen Portal](#)

### Flood Management

Marshall County is a proud member of the National Flood Insurance Program, NFIP. Therefore, all development in a flood plain is required to be regulated. Please email all Floodplain Development Permits directly to [c.williams@marshallcountyttn.com](mailto:c.williams@marshallcountyttn.com)

 <b>Flood Ordinance</b> Click Here for the Flood Ordinance PDF	 <b>Elevation Certificate 2023</b> Click Here for the Elevation Certificate 2023 PDF
 <b>Floodproof Certificate 2023</b> Click Here for the Floodproof Certificate 2023 PDF	 <b>No Rise Certificate</b> Click Here for the No Rise Certificate PDF
 <b>FDP</b> Click Here for the Floodplain Development Permit PDF	 <b>FEMA MAP NFHL</b> Click Here for The FEMA MAP NFHL Viewer

## Adequate Facilities Tax

House Bill 1969, Private Acts of 2001, provides that engaging in development in Marshall County, Tennessee is a privilege for which the Marshall County Board of Commissioners may impose a tax. By resolution of the Honorable Board of Commissioners on July 2, 2001, a tax was imposed upon new residential and non-residential construction in Marshall County.

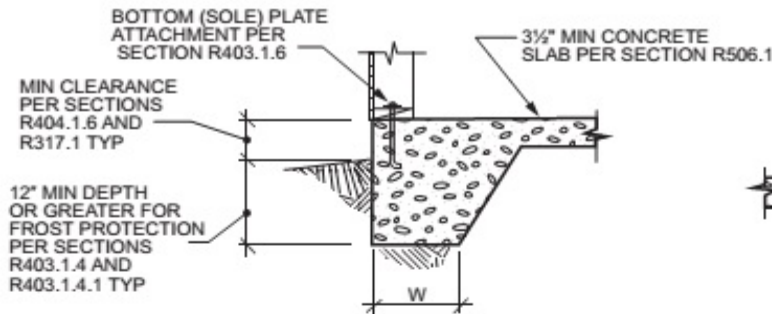
### The following will be an additional charge regarding building permits:

Residential gross square footage (\$1.00 per square foot)

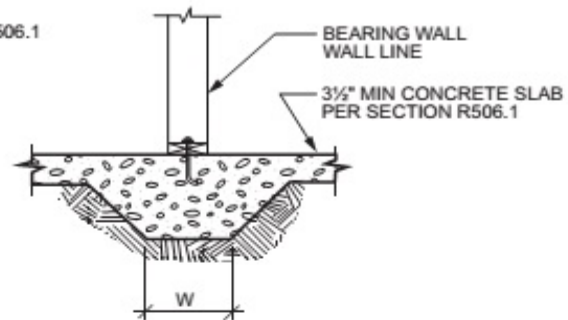
Non-residential gross square footage (\$0.60 per square foot)

# Residential Building Details

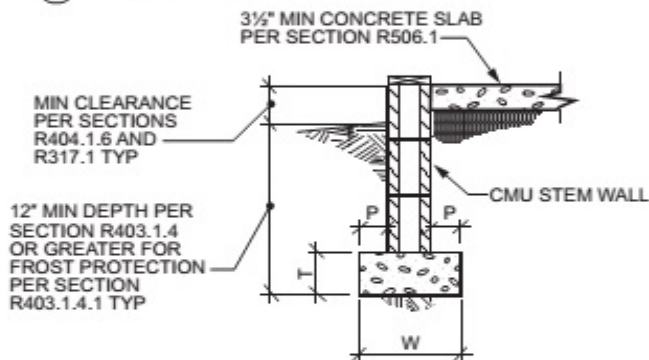
**A minimum of 2 runs of #4 rebar is required throughout all footings/turndowns  
And a minimum of 3 runs are required over rock.**



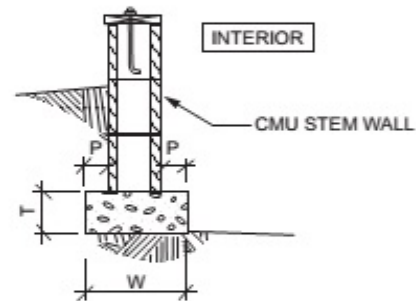
**1 MONOLITHIC SLAB-ON-GROUND WITH TURNED-DOWN FOOTING**  
SCALE: NOT TO SCALE



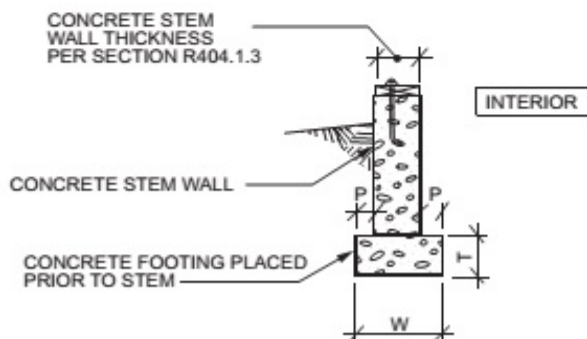
**2 THICKENED SLAB-ON-GROUND FOOTING AT BEARING WALLS OR BRACED WALL LINES**  
SCALE: NOT TO SCALE



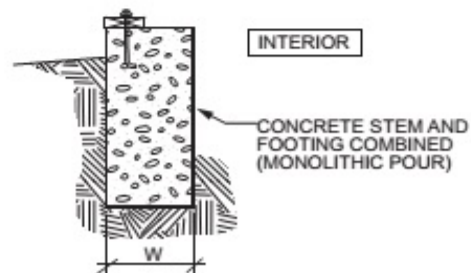
**3 SLAB-ON-GROUND WITH MASONRY STEM WALL AND SPREAD FOOTING**  
SCALE: NOT TO SCALE



**4 BASEMENT OR CRAWL SPACE WITH MASONRY WALL AND SPREAD FOOTING**  
SCALE: NOT TO SCALE

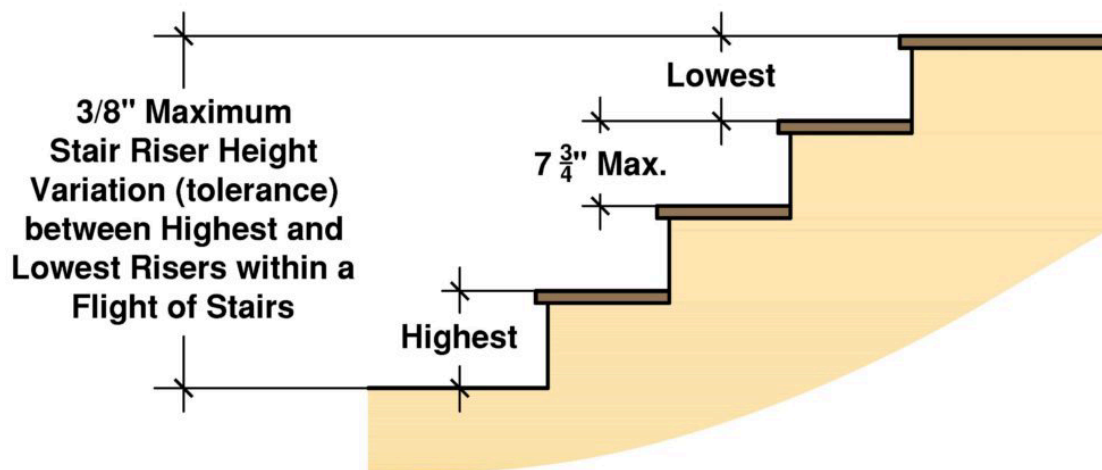
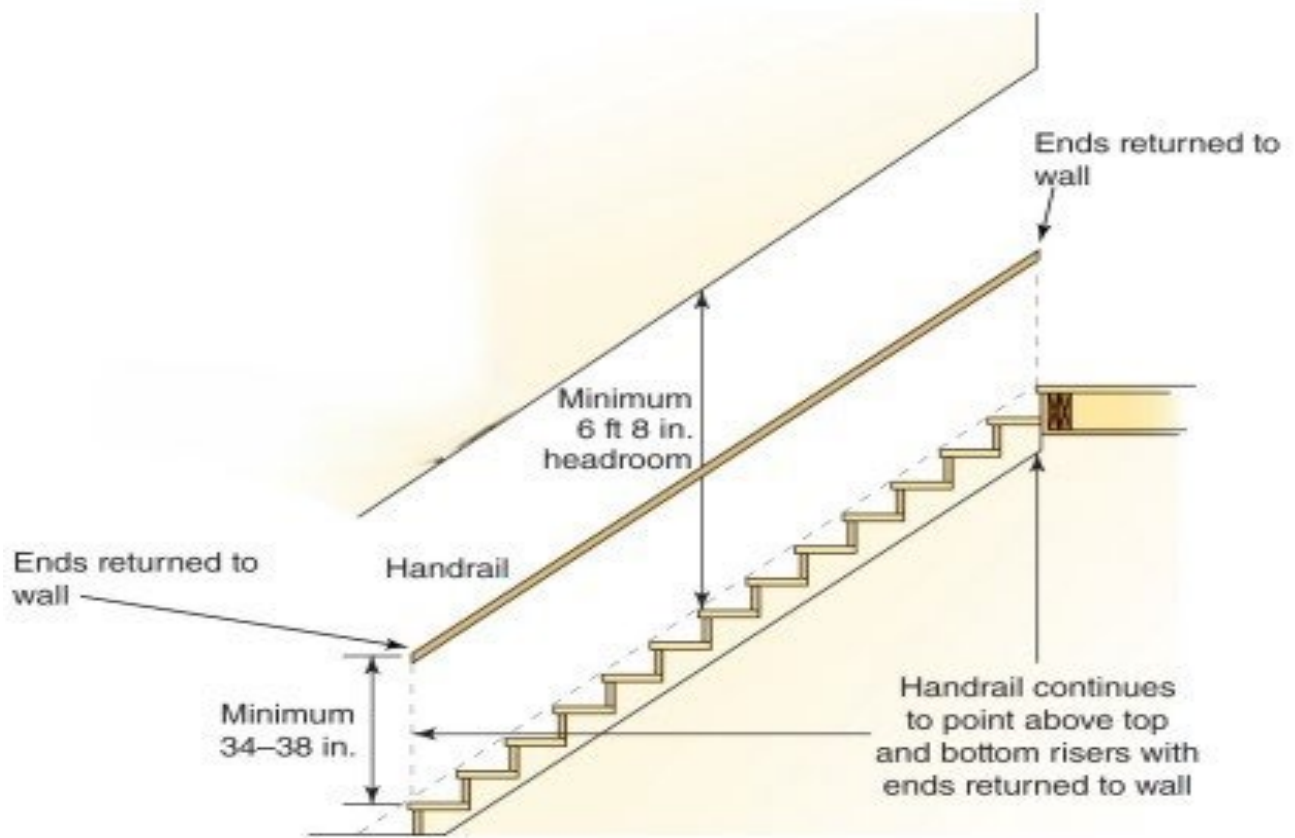


**5 BASEMENT OR CRAWL SPACE WITH CONCRETE WALL AND SPREAD FOOTING**  
SCALE: NOT TO SCALE

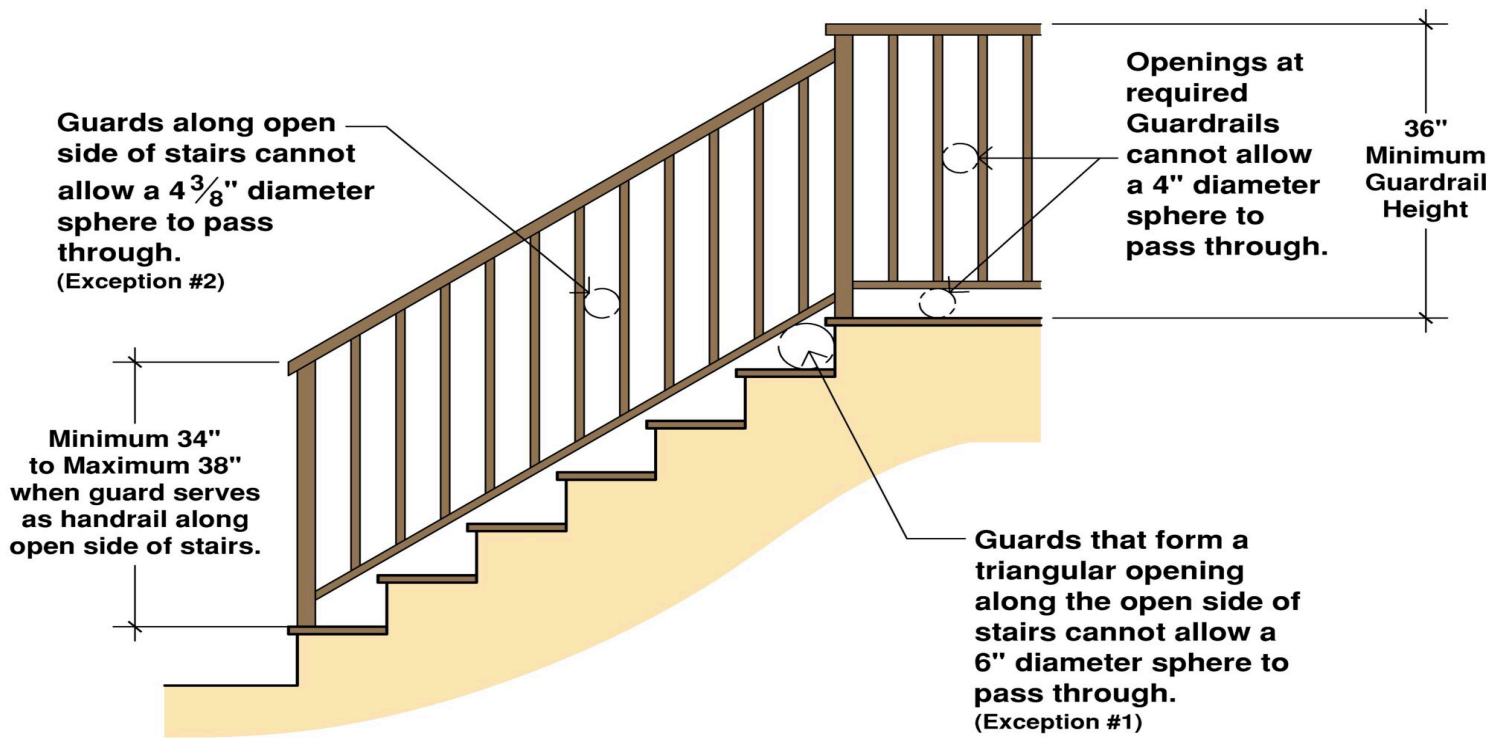


**6 BASEMENT OR CRAWL SPACE WITH FOUNDATION WALL BEARING DIRECTLY ON SOIL**  
SCALE: NOT TO SCALE

## Handrail, Stair and Guard Detail

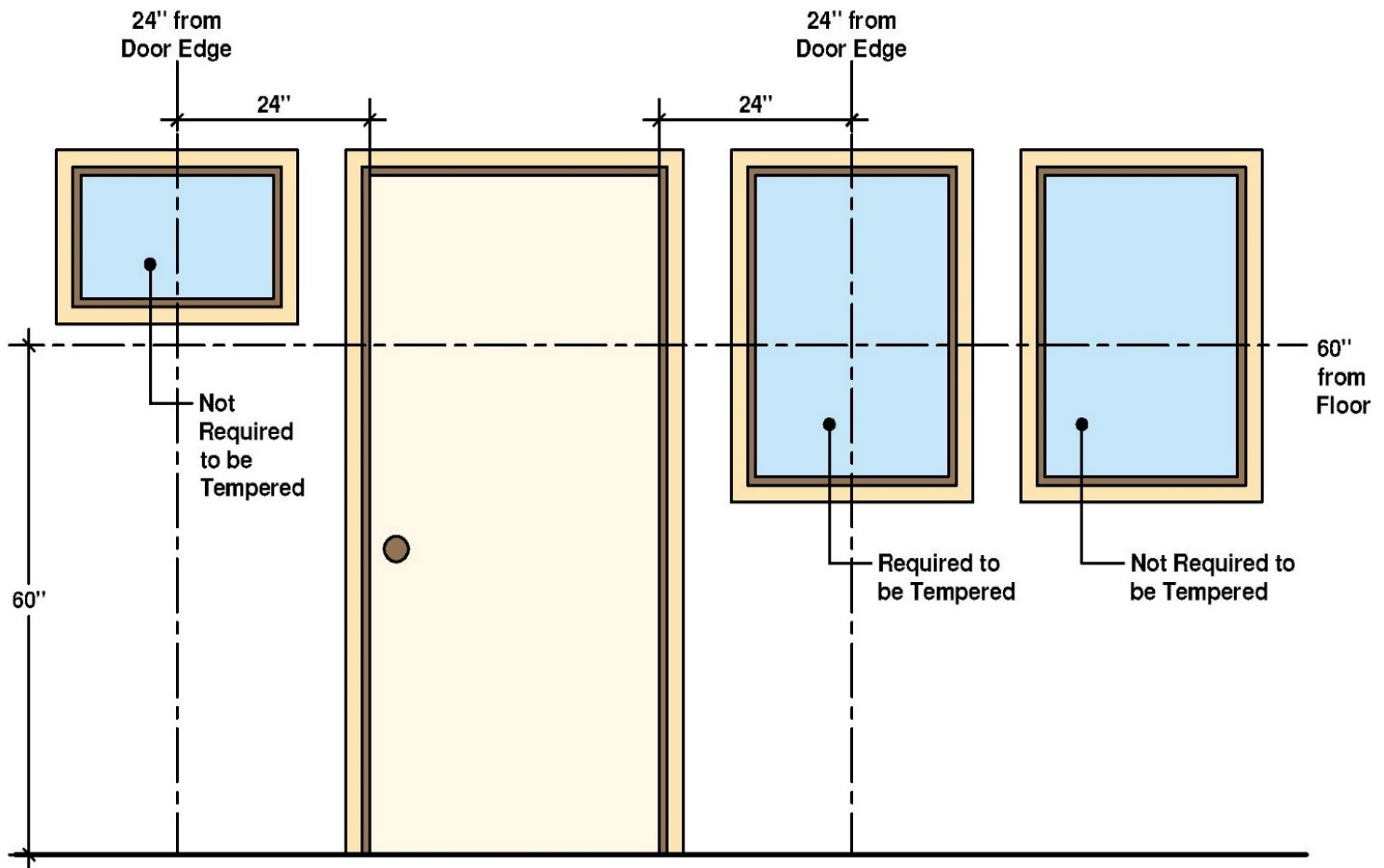


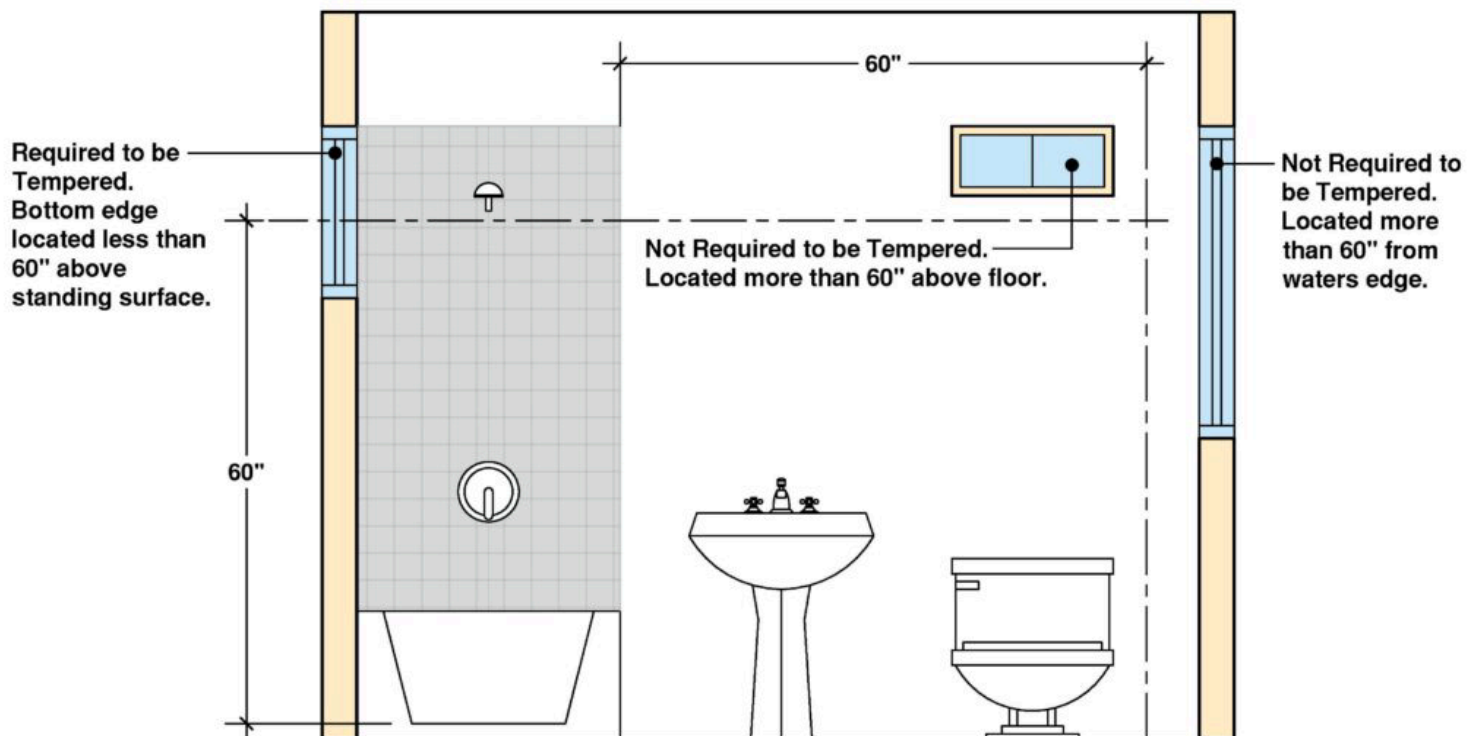
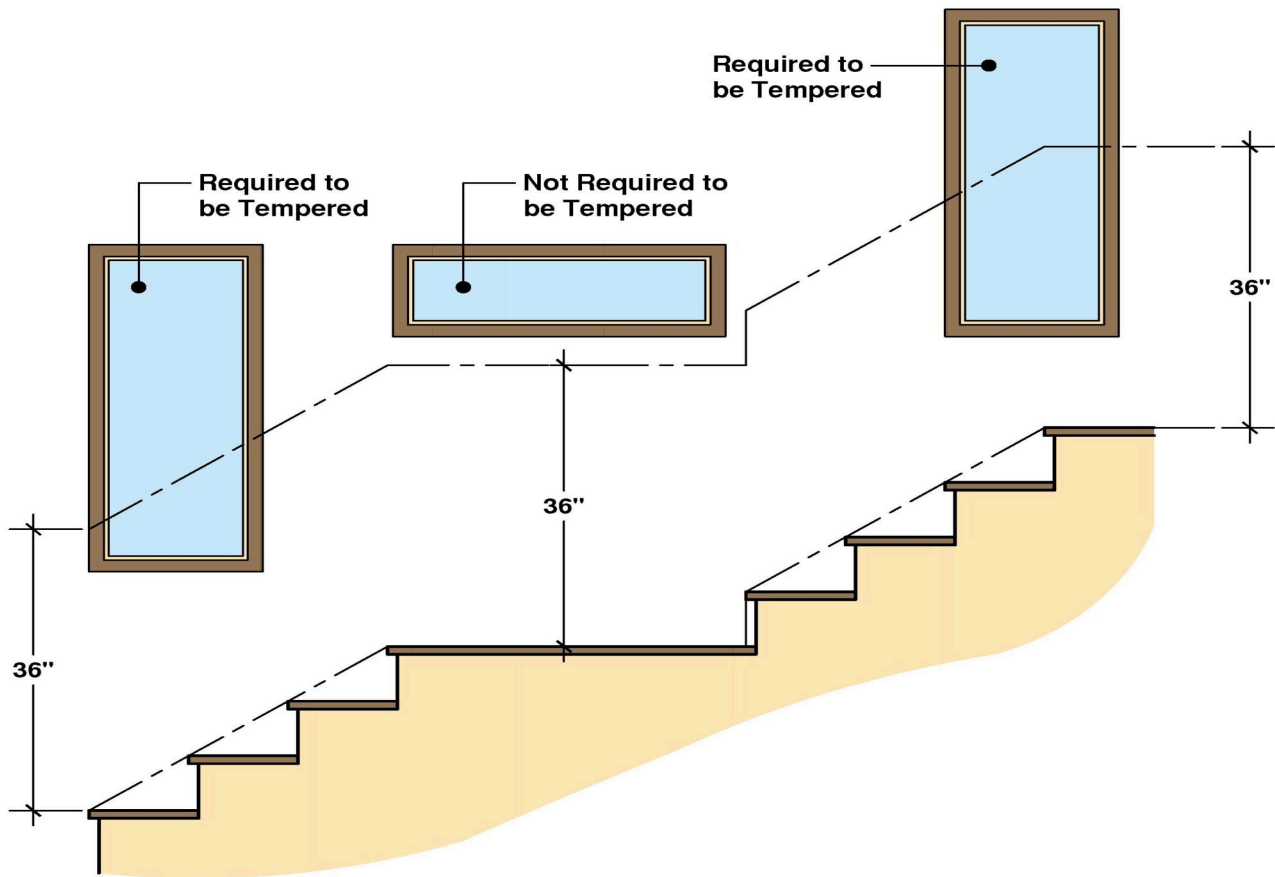




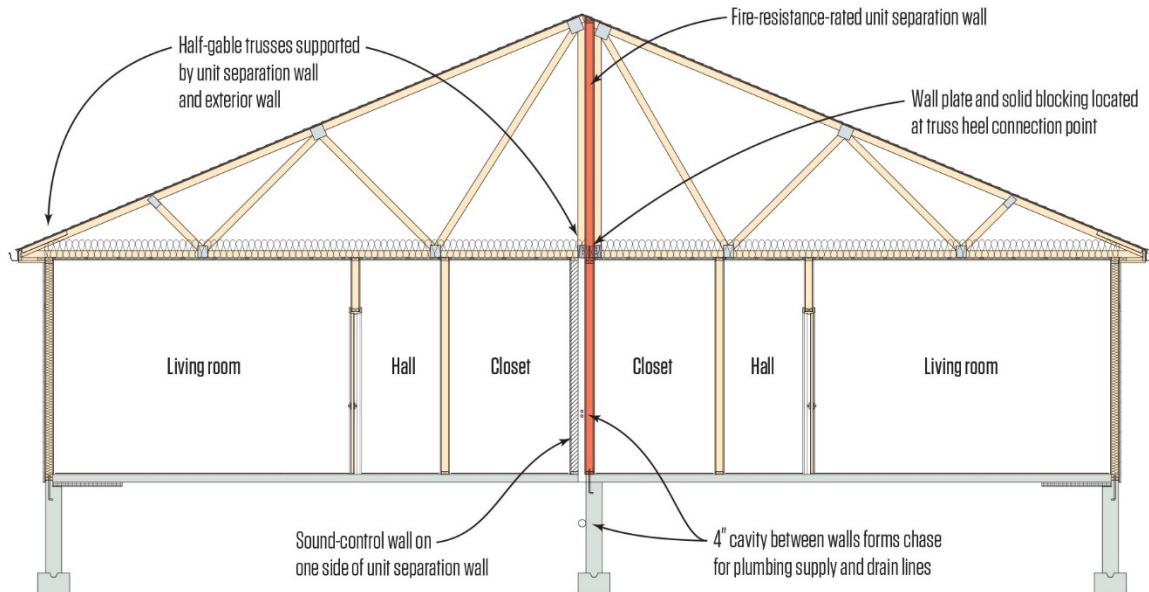
## Glazing (Tempered Glass) requirements

TCA 68-120-302 -Each light of safety glazing material manufactured, distributed, imported, or sold for use in hazardous locations or installed in such a location within this state shall be **permanently labeled** by such means as etching, sandblasting, firing of ceramic material on the safety glazing material, or by other suitable means. The label shall identify the labeler, whether manufacturer, fabricator or installer, and the nominal thickness and the type of safety glazing material and the fact that the material meets the requirements of the minimum statewide building construction safety standards established by the state fire marshal pursuant to § 68-120-101(a). The label shall be legible and visible after installation and shall not be used on other than safety glazing materials.

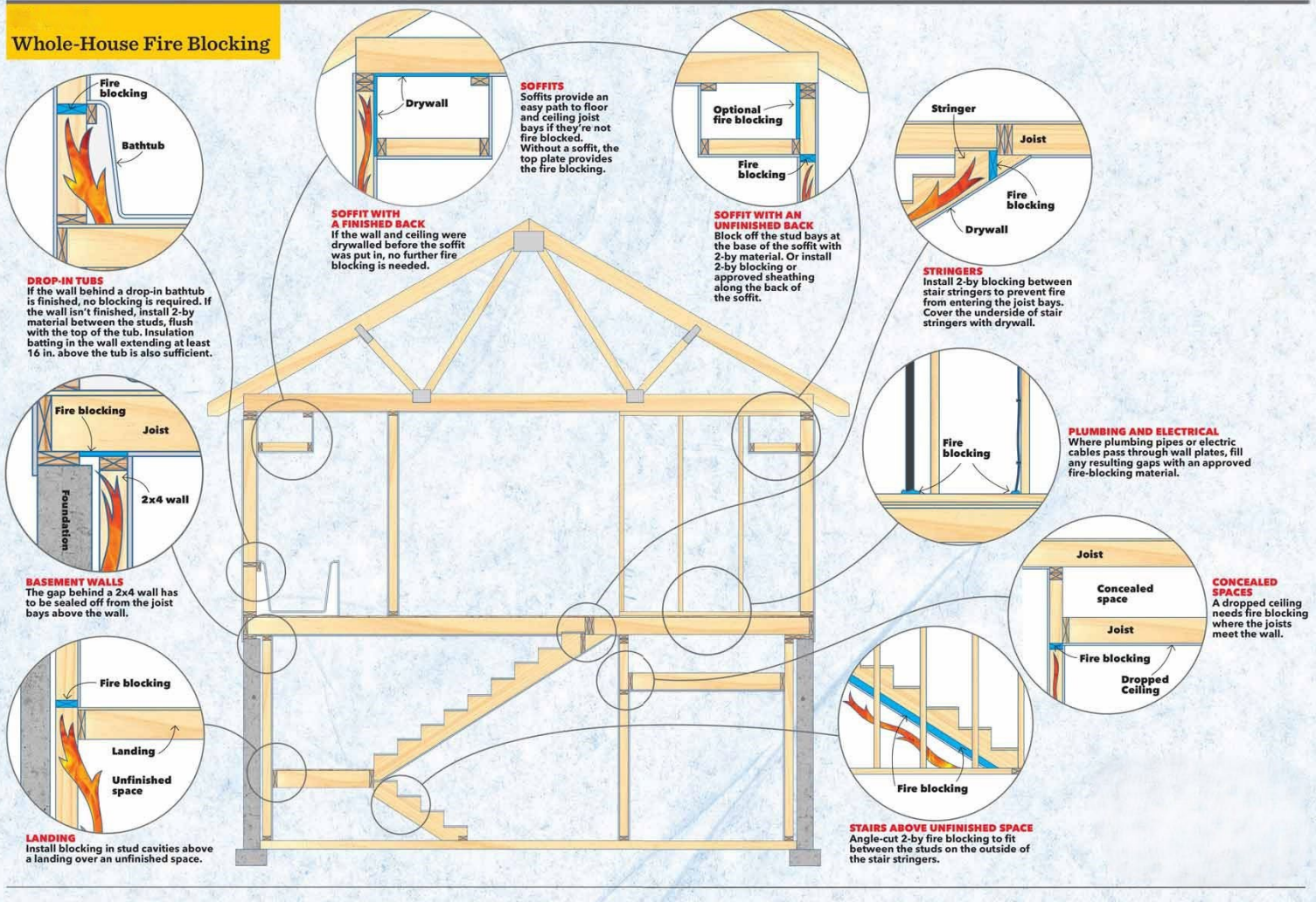




# FireBlocking/ Multi Family Fire Wall



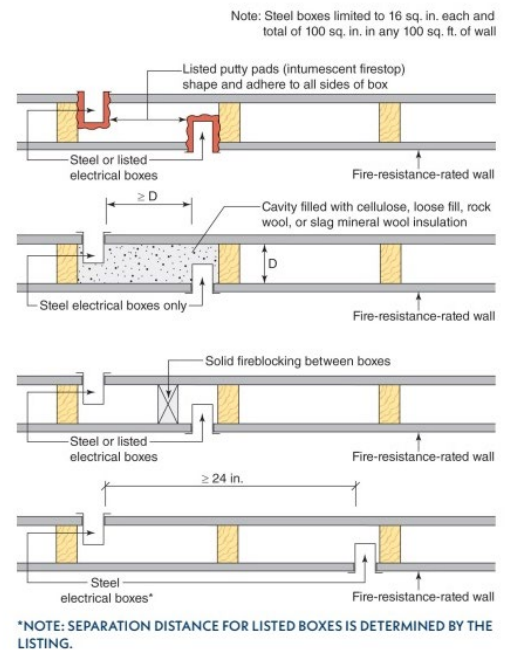
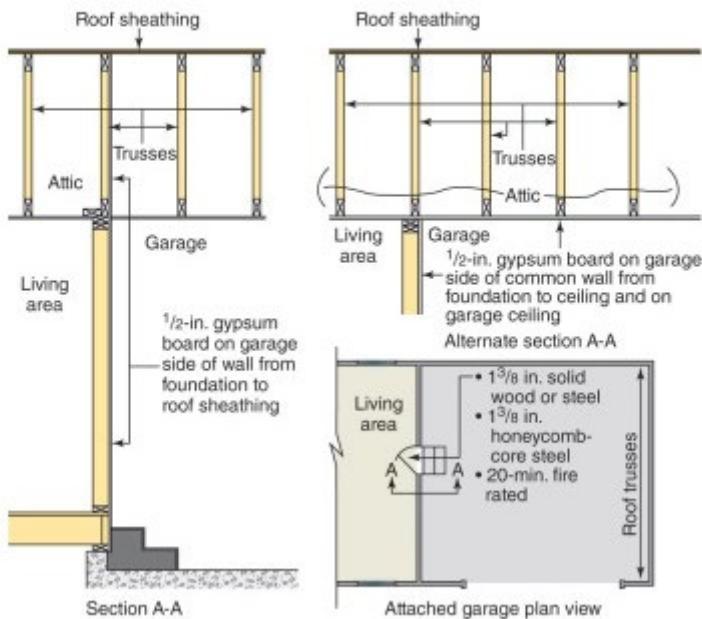
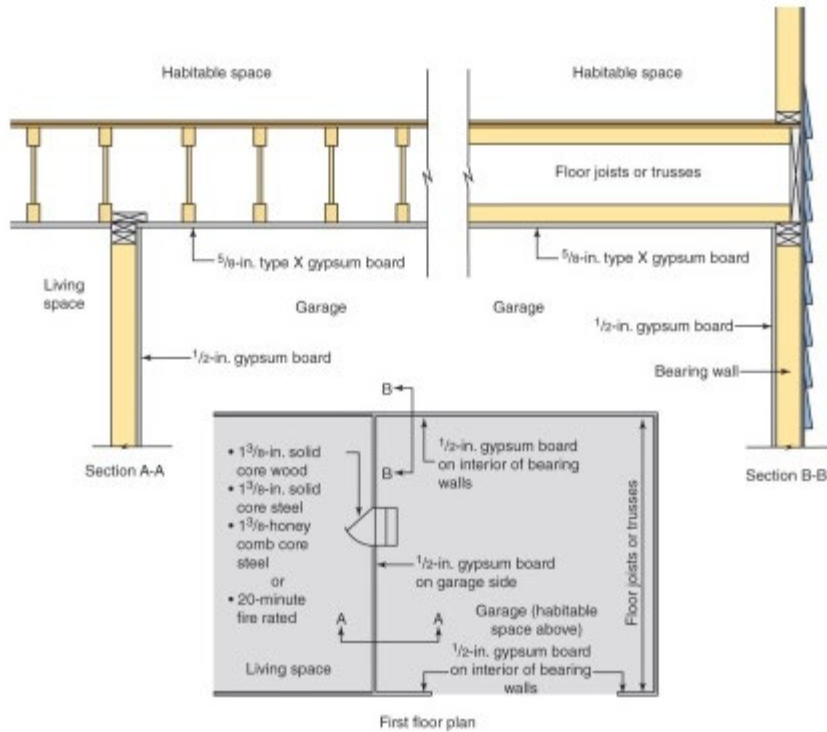
## Whole-House Fire Blocking





# Residential Garage Fire Separation

## Including shops with living space and Barndominiums



# Post Frame (Pole Barn) and Deck Policy Statement and Details

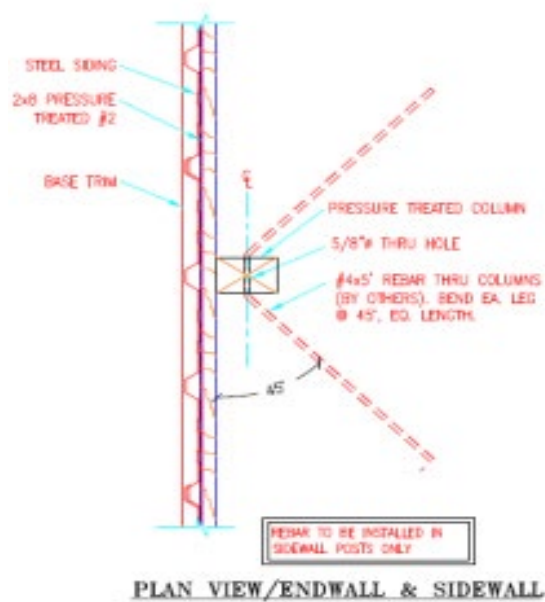
A building permit is required for all post frame construction over 200 square feet. If you are applying for agricultural exemption under TCA 13-7-114, we ask that you still call the office to apply for a permit. The agricultural exemption application shall consist of a current scheduled F. We will issue a permit at no charge with no follow-up inspections required. The permit will only suffice for inquiries into the building legality.

Post Frame construction cannot be approved for living structures with a licensed Tennessee engineer design and are not covered under the agriculture exemption for building safety inspections. Building safety inspections will also be required on post frame structures that are being used for community and/or public assemblies.

In order to provide timely service for nonliving, storage only, residential post frame construction that is being permitted and constructed with a concrete floor, Marshall County has adopted the following inspection schedule and policy:

- Any wall over 14-foot vertical or more requires a stamped wall detail by a licensed structural TN engineer detail.
- All post frame construction is required to have a minimum 2x6 corner brace from the top of the post to the adjacent side wall post. Brace post attachment is required to be through approved brackets.
- All post holes shall be a minimum 36 inches (3 feet) deep with 2 inches of packed stone and installed with premixed concrete. A post hole inspection is required before posts are set.
- **Combination Inspection:**

Column pins shall be installed on each side of post a minimum 36 inches (3 feet) protruding into the slab. Columns pins will allow the applicant to negate the post hole inspection, but this does not negate the permit holder responsibility to install the post per the above requirements.



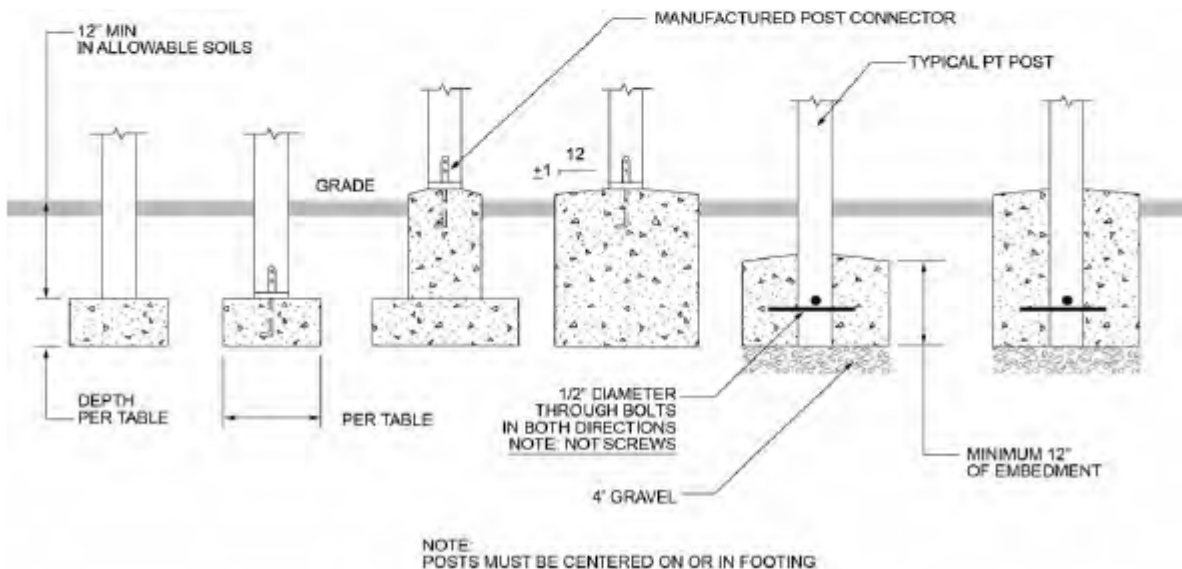
# Exterior Decks

Permits are required for all decks with the following Exception: Decks not exceeding 200 square feet (18.58 m<sup>2</sup>) in area, that are not more than 30 inches (762 mm) above *grade* at any point, are not attached to a *dwelling* or *townhouse* and do not serve the exit door required by **Section R318.4**.

**R507.3 Footings.** Decks shall be supported on concrete footings or other *approved* structural systems designed to accommodate all loads in accordance with **Section R301**. Deck footings shall be sized to carry the imposed loads from the deck structure to the ground as shown in **Figure R507.3**.

## Exceptions:

1. Footings shall not be required for free-standing decks consisting of joists directly supported on grade over their entire length.
2. Footings shall not be required for free-standing decks that meet all of the following criteria:
  - 2.1. The joists bear directly on *precast concrete* pier blocks at grade without support by beams or posts.
  - 2.2. The area of the deck does not exceed 200 square feet (18.6 m<sup>2</sup>).
  - 2.3. The walking surface is not more than 20 inches (508 mm) above grade at any point within 36 inches (914 mm) measured horizontally from the edge.



For SI: 1 inch = 25.4 mm.



TABLE R507.3.1  
MINIMUM FOOTING SIZE FOR DECKS

LIVE OR GROUND SNOW LOAD <sup>b</sup> (psf)	TRIBUTARY AREA <sup>e</sup> (ft <sup>2</sup> )	LOAD-BEARING VALUE OF SOILS <sup>a, c, d</sup> (psf)								
		1,500			2,000			≥ 3,000		
		Side of a square footing (inches)	Diameter of a round footing (inches)	Plain concrete thickness (inches) <sup>f</sup>	Side of a square footing (inches)	Diameter of a round footing (inches)	Plain concrete thickness (inches) <sup>f</sup>	Side of a square footing (inches)	Diameter of a round footing (inches)	Plain concrete thickness (inches) <sup>f</sup>
40	5	7	8	6	7	8	6	7	8	6
	20	10	12	6	9	9	6	7	8	6
	40	14	16	6	12	14	6	10	12	6
	60	17	19	6	15	17	6	12	14	6
	80	20	22	7	17	19	6	14	16	6
	100	22	25	8	19	21	6	15	17	6
	120	24	27	9	21	23	7	17	19	6
	140	26	29	10	22	25	8	18	21	6
	160	28	31	11	24	27	9	20	22	7

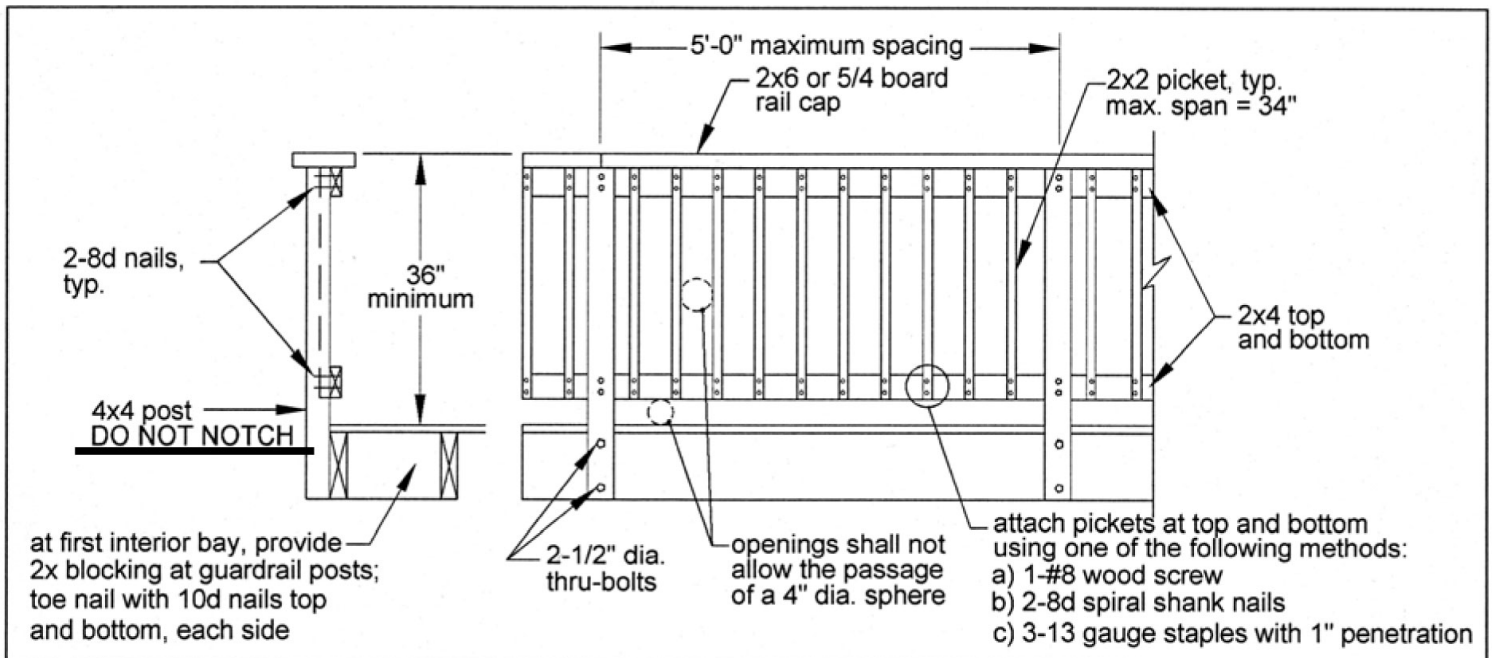
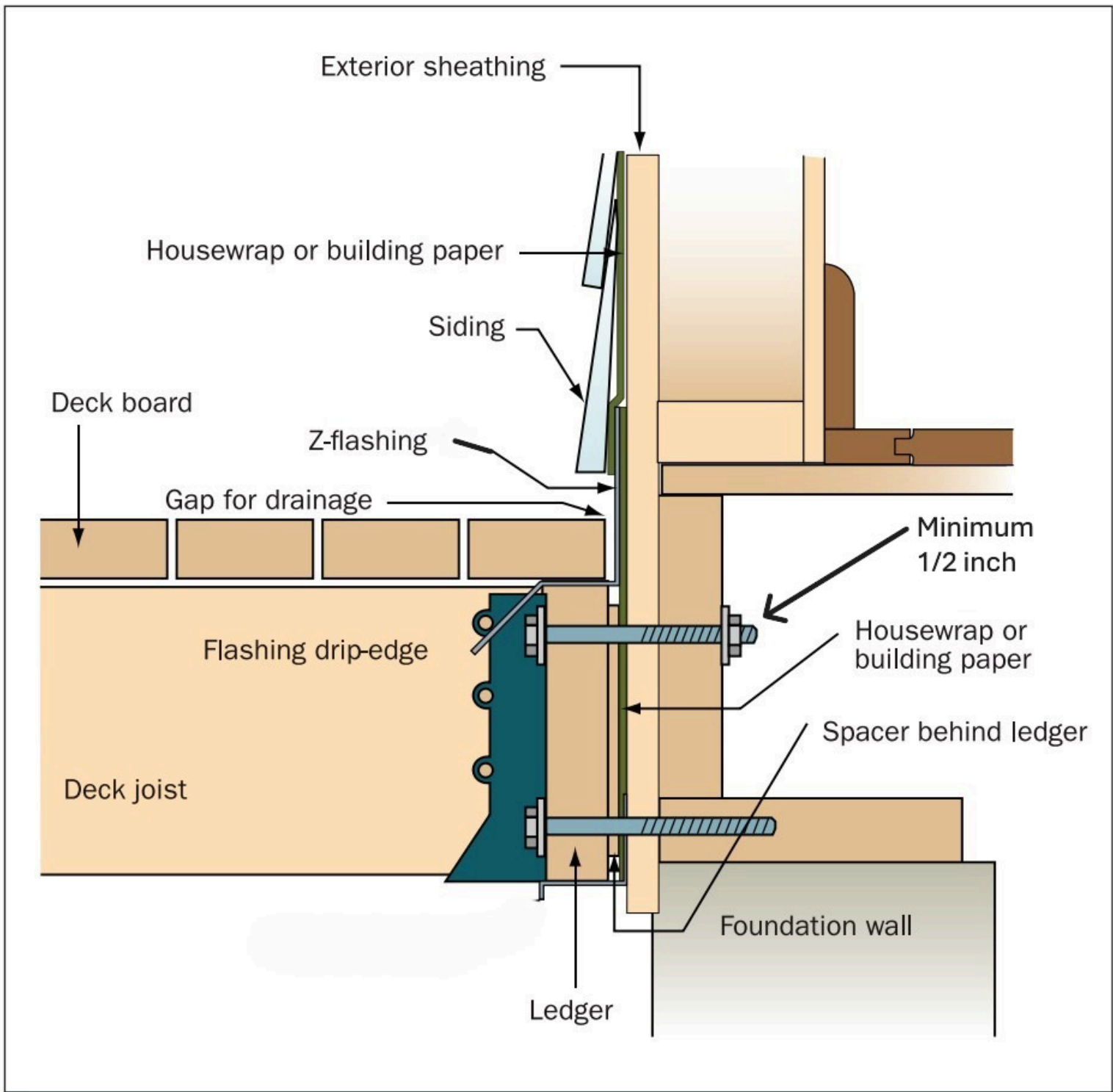


FIGURE 24: TYPICAL GUARDRAIL DETAIL

**TABLE R507.6  
MAXIMUM DECK JOIST SPANS**

LOAD <sup>a</sup> (psf)	JOIST SPECIES <sup>b</sup>	JOIST SIZE	ALLOWABLE JOIST SPAN <sup>b, c</sup> (feet-inches)			MAXIMUM CANTILEVER <sup>d, f</sup> (feet- inches)							
			Joist spacing (inches)			Joist back span <sup>g</sup> (feet)							
			12	16	24	4	6	8	10	12	14	16	18
40 live load	Southern pine	2 × 6	9-11	9-0	7-7	1-0	1-6	1-5	NP	NP	NP	NP	NP
		2 × 8	13-1	11-10	9-8	1-0	1-6	2-0	2-6	2-3	NP	NP	NP
		2 × 10	16-2	14-0	11-5	1-0	1-6	2-0	2-6	3-0	3-4	3-4	NP
		2 × 12	18-0	16-6	13-6	1-0	1-6	2-0	2-6	3-0	3-6	4-0	4-1
	Douglas fir-larch <sup>e</sup> Hem-fir <sup>e</sup> Spruce- pine-fir <sup>e</sup>	2 × 6	9-6	8-4	6-10	1-0	1-6	1-4	NP	NP	NP	NP	NP
		2 × 8	12-6	11-1	9-1	1-0	1-6	2-0	2-3	2-0	NP	NP	NP
		2 × 10	15-8	13-7	11-1	1-0	1-6	2-0	2-6	3-0	3-3	NP	NP
		2 × 12	18-0	15-9	12-10	1-0	1-6	2-0	2-6	3-0	3-6	3-11	3-11
	Redwood <sup>f</sup> Western cedars <sup>f</sup> Ponderosa pine <sup>f</sup> Red pine <sup>f</sup>	2 × 6	8-10	8-0	6-10	1-0	1-4	1-1	NP	NP	NP	NP	NP
		2 × 8	11-8	10-7	8-8	1-0	1-6	2-0	1-11	NP	NP	NP	NP
		2 × 10	14-11	13-0	10-7	1-0	1-6	2-0	2-6	3-0	2-9	NP	NP
		2 × 12	17-5	15-1	12-4	1-0	1-6	2-0	2-6	3-0	3-6	3-8	NP





# Above and Inground Pool

TCA 68-14-804 - Each person, enterprise, agency or entity that purchases or acquires a swimming pool to be installed after January 1, 2011, shall install and maintain a pool alarm before using or making available for use such swimming pool.





All inground pools require a barrier complying with Section 305 of the 2024 International Pool and Spa Code.

